

Annabelle's house

392 Arbourthorne Road, Sheffield S2 2FJ



A very general basic non-exhaustive overview of the above property concentrating on the main issues that require imminent attention. Lesser items are not mentioned, but if you require specific advice about any particular item (whether mentioned below or not) please feel free to contact me.

Approximate Gross Internal Area = 69.6 sq m / 749 sq ft



Illustration For Identification Purposes Only. Not To Scale (ID870775 / Ref:81624)

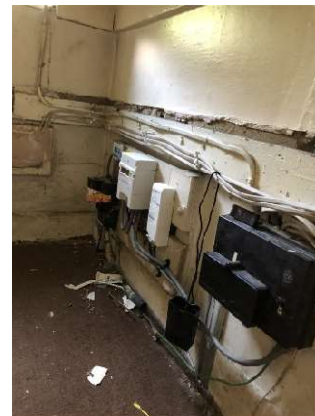
Entrance Hall

With stairs rising off to the first-floor landing and a useful under-stairs storage cupboard. Small central heating radiation could be increased in size. Provide and fix 30-minute fire resistant door between entrance hallway and Lounge.



Under stairs storage cupboard

All electrical circuits need testing as a temporary safety stop-gap. 'Broken' fuse needs to be replaced as a temporary safety stop gap. Exterior circuits need to be removed. A new RDB circuit board will need to be installed in due course, but much of the existing wiring *may* be able to be retained. Provide and fix new 30-minute fire resistant door.



Lounge 15'4" x 10'4" (4.69m x 3.16m)

With a front facing double glazed window, a fire surround and a radiator. Chimney flue to be cleaned before use.



Kitchen 8'5" x 8'3" (2.57m x 2.52m)

Fitted with a range of wall and base units, roll edge work surfaces, sink and drainer, space for a cooker, space and plumbing for a washing machine and dishwasher, two side double glazed facing windows and a rear facing double glazed window overlooking the rear garden.

**Sun Room/Dining Room 7'10" x 9'0" (2.40m x 2.76m)**

A bright and sunny room with a side facing door leading out to the rear garden, a rear facing double glazed window, a Velux window to the ceiling and a radiator. Suggest radiator size is increased.

**First Floor Landing**

Bedroom One 15'4" x 9'2" (4.69m x 2.80m)

Having both a front and rear facing double glazed window, fitted wardrobes and cupboards and a radiator. Exterior rear windowsill to be made good with matching materials. Suggest radiator size is increased. Provide and fix new 30-minute fire resistant door.

**Bedroom Two 8'5" x 7'1" (2.59m x 2.18m)**

Fitted with a range of fitted cupboards and a wardrobe, rear facing double glazed window and a radiator. Provide and fix new 30-minute fire resistant door.

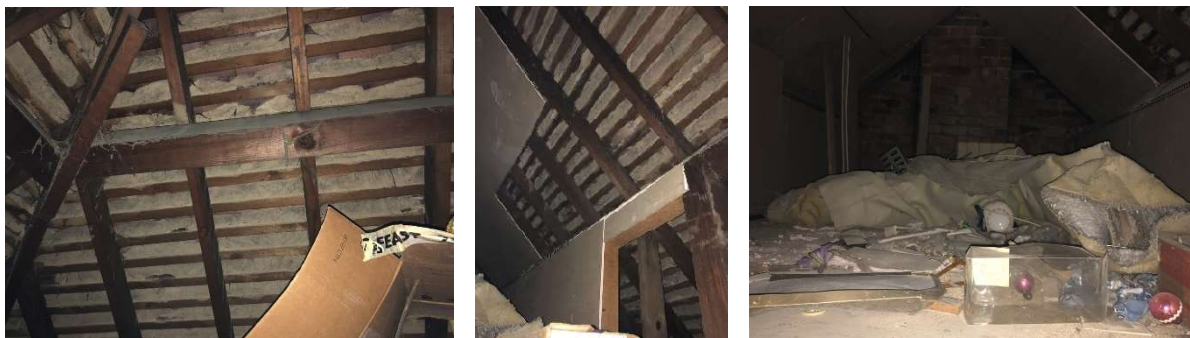
**Shower Room**

Fitted with a three-piece suite comprising of a shower cubicle with electric shower, wash hand basin, WC and a front facing double glazed window. All sanitary-ware to be replaced. Boiler to be serviced. Requirement for combustion air for boiler operation may necessitate new wall ventilator.



Roof space

Acceptable for 'temporary' access. Over-board floor and insulate roof internally, bearing in mind that rafters and tile battens need adequate ventilation. Insulate void between bedroom ceilings and underside of new floor covering.



Generally

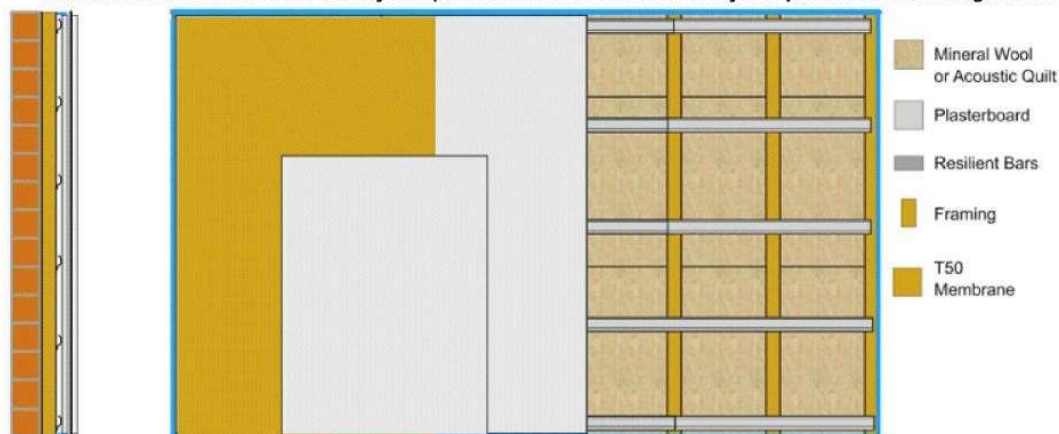
Check all electrical circuits. Suggest light switches are changed for 'standard' switching type. Contact electrician mentioned below who may be able to do selected work on parts of the installation without having to certify the whole installation.

Check all hot water and heating circuits. Contact the heating engineer mentioned below who may be able to do selected work on parts of the installation without having to certify the whole installation.

Ensure adequate ventilation is maintained through all areas generally throughout the year.

Consider sound insulation between your house and the immediate neighbours. For stud partitions that are new-build use acoustic mineral wool in the stud cavity. Or use the 2FTex quilt in the stud cavity as it has a layer of acoustic barrier sheet laminated in the middle of the product. Hang at least one side of the wall on resilient bars and use at least one layer of T50 or VL-65 acoustic membrane in between the plasterboard sheets. Isolate the perimeter of the framework with the RFT50 High Performance Resilient tape. Take care to seal the perimeter and joints with acoustic sealant and ensure you maintain resilient isolation from the framework using neoprene strips beneath the battens. Make the stud cavity as deep as possible or use independent frames for each side of the wall. Offset the second layer of plasterboard to reinforce the seams in the first (see diagram below)

This is for guidance only. If you are unsure about your DIY skills it may be better to contact an experienced builder.
Stick the T50 membrane to the first layer of plasterboard then add the final layer of plasterboard offset against the first.



Stick up the T60 membrane then add the final layer of plasterboard offset against the first

Outside

The property sits in a large corner plot with gardens to the front side and rear along with a driveway and a garage.

The main house roof appears to be OK and probably just needs some lime-based mortar pointing to the ridge tiles.

The shallow-pitch roof over the 'sun room' needs to be cleaned and the eaves re-pointed with lime-based mortar.

The flat roof over the kitchen needs to be insulated and finished with a liquid roof membrane (see Cure Roofing below). Outlet to rainwater pipe to be reformed.

Various items of masonry need to be made good and broken or missing brickwork replaced/made good. At least 1 terracotta ventilator needs to be replaced/reintroduced.

Upper gutters generally look OK but may need joints sealing. All to be cleaned out and painted externally.

Soffit (underside of roof below gutter) to be cleaned and painted.

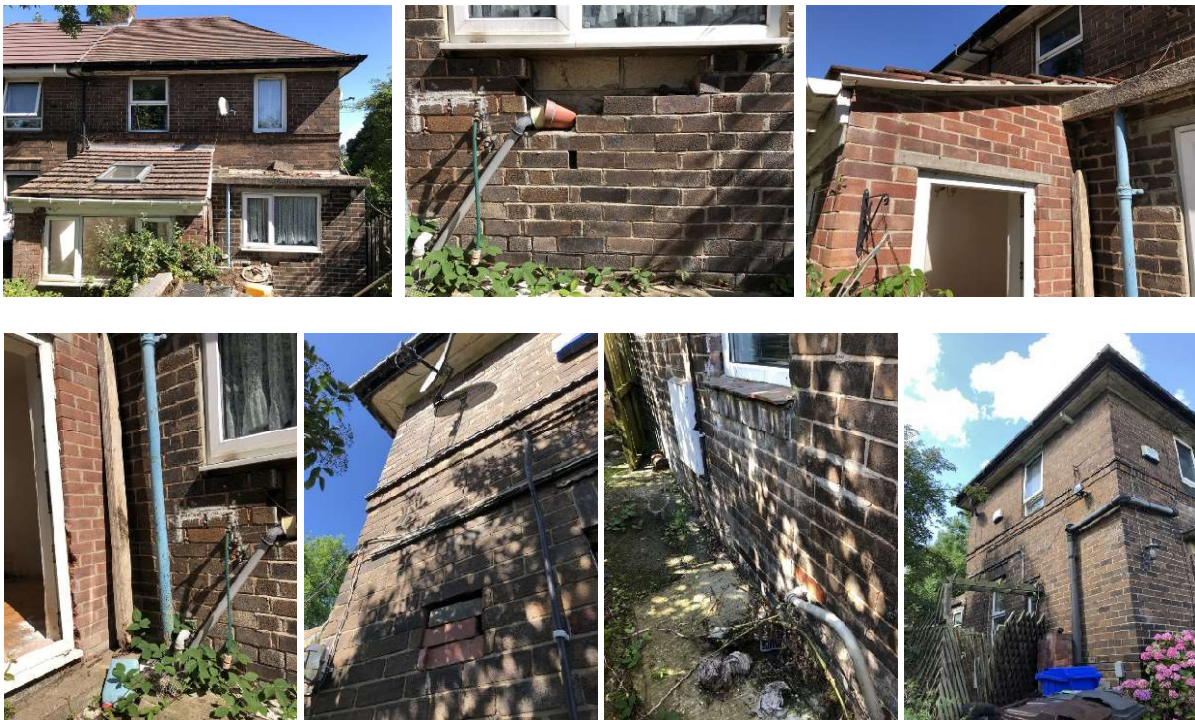
All gullies and drains to be cleared. Move all debris and stored items away from outer face of all main house walls so that the walls can breathe.

Remove elder trees/shrubs (between house and garage) as these can become invasive. Be aware that neighbour's tree at the rear of the property might be laburnum, whose seeds are poisonous.

Lean-to structures at rear and side of garage to be carefully demolished.

Garage roof to be cleaned prior to sealing with Kingfisher (or similar approved) Asbestos Roof Sealer and Primer, which is a brush or spray applied, translucent solution formulated to bind, seal and consolidate the surface of old, friable asbestos roof sheets, encapsulating harmful dust and fibres ... see: <https://www.kingfisheruk.com/asbestos-roof-sealer-amp-primer-item-55ps#55ps> NB roof interior may also need to be sealed.

Boundary fence rust areas to be treated with rust inhibitor/converter prior to painting with rust-proof paint.



Continued overleaf:



Useful contacts and links:

Cure Roofing Ltd

Specialist approved applicators of Liquid Roof Membranes quality waterproof and protective coatings suitable for the protection of the following:

- Flat roofs
- Asbestos cement sheet roofs

Tel: 0114 248 3147 and Mob: 07711 586030 and Mob: 07534 967798

Email: info@cureroofing.co.uk

Web: <https://cureroofing.co.uk/>

Equate Mortgages

Independent mortgage broker

John Parkin

Tel: 0800 038 0098

Mob: 07793 771363

Email: john@equatemortgages.co.uk

Ignite Gas

Craig Johnson – Vaillant boiler and central heating specialist

Mob: 07984 172323 and Tel: 01246 461134

Web: <https://www.ignitegas.co.uk/index.html#home>

Washing machine and dishwasher

Supplier and/or installer and/or maintenance repairs of washing machines, dishwashers, fridges and fridge-freezers.

Jason Chewter – South Yorkshire Domestics

M: 07701 037938

Email: jason@sydappliancerepairs.co.uk

Web: <https://sydappliancerepairs.co.uk/>

Electrician

General electrical and security system works and data cabling etc (generally only does commercial work, but tell him I recommended him)

Martin Bills – Innovation Security and Wi-Fi

Mob: 07986 602092

Email: info@innovationelectrics.co.uk

Web: <http://www.innovationelectrics.co.uk/>