

GENERAL ARRANGEMENT - CONSTRUCTION NOTES

- PLEASE NOTE: -
SURVEY OF ALL NEW /EXISTING DOORS WINDOWS OPENINGS SHOULD BE MEASURED ON SITE PRIOR TO MANUFACTURING.
DIMENSIONS ARE INDICATIVE ONLY BASED ON THE SURVEY BY OTHER. THESE SHOULD BE VERIFIED ON THE SITE FOR ACCURACY.
1. TEMPORARY SUPPORT AND PROTECTION
1.1. PROVIDE, MAINTAIN AND ALTER AS NECESSARY AS WORK PROCEEDS. DO NOT LEAVE UNNECESSARY OR UNSTABLE PROJECTIONS. REFER TO SE DESIGN AND CALCULATIONS.
2. NEW STEELS:
2.1. ALLOW TO INSTALL NEW STEELS AND ASSOCIATED PADSTONES TO SE DESIGN AND CALCULATIONS
2.2. TO BE FIRE PROTECTED TO 1HR INTEGRITY WITH EITHER 2.NO LAYERS OF 12.5MM OR 1 LAYER OF 15MM KINGSPAN FIRELINE BOARD (OR SIMILAR APPROVED) OR CONTINUOUS COAT OF INTUMESCENT PAINT APPLIED AS PER MANUFACTURERS GUIDELINE.
3. EXISTING EXTERNAL WALL UPGRADE (INTERNALLY):
3.1. 50MM CELOTEX GA4000 ON MASONRY WALL
3.2. 25X38 VERTICAL BATTENS AT 600 CENTRES
3.3. 12.5MM WALL BOARD FIXED TO THE BATTENS
3.4. 3MM SKIMMED AND PAINTED TO CLIENTS CHOICE
3.5. ALL TO ACHIEVE 0.30W/mPK U-VALUE
4. NEW EXTERNAL WALLS:
4.1. CAVITY WALL- REFER TO DETAILS SERIES 09
4.2. NEW SOLID WALL- REFER TO DETAILS SERIES 09
4.3. BRICK BONDING TO BOTH NEW CAVITY AND SOLID WALL TO MATCH EXISTING
4.4. ALL EXTERNAL WALL TO BE PAINTED WITH EXTERNAL GRADE PAINT, COLOUR TO CLIENTS CHOICE
5. NEW INTERNAL STUD WALLS: REFER TO DETAILS SERIES 09
5.1. NEW WALLS TO BE CONSTRUCTED FROM 75MM X 47MM TIMBER STUD AT 400MM CENTRES. FULL FILL WITH ROCKWOOL RW45 INSULATION OR SIMILAR
5.2. NEW WALL BETWEEN BEDROOM 1 AND FAMILY BATHROOM TO BE CONSTRUCTED FROM 100MM X 47MM TIMBER STUDS AT 400MM CENTRES. FULL FILL WITH ROCKWOOL RW45 INSULATION OR SIMILAR. CREATE OPENINGS TO INSTALL 2XMEDICINE CABINETS WITHIN THE WALL.
5.3. ALL TO BE BOARDED EITHER SIDE IN 12MM OSB AND 12.5MM PLASTERBOARD WITH 3MM PLASTER SKIM FINISH APART FROM TILED AREAS WHERE 12.5MM WEDI BOARD IS TO BE USED IN PLACE OF OSB AND PLASTERBOARD WITH TILE ADHESIVE TO MANUFACTURERS GUIDELINES AND TILES TO CLIENT'S CHOICE.
5.4. ALLOW FOR ALL GROUTS AND TRIMS AS NECESSARY, COLOURS TBC
5.5. PARTIALLY TILED WALL TO BE FLUSH WITH THE PLASTERED WALL.
6. EXISTING INTERNAL WALLS:
6.1. REMOVE WALL LINING/WALL PAPERS/ BLOWN PLASTER FROM ALL WALL THROUGHOUT THE HOUSE
6.2. ALLOW TO RE-PLASTERED ALL EXISTING WALLS THROUGHOUT THE HOUSE.
6.3. ALLOW TO MAKE GOOD AND PAINT GENERALLY WITH 1.NO MIST COAT SEALER. TOP COAT TO BE CLIENT SUPPLY ITEM.
6.4. ALLOW TO USE VINYL EMULSION WITH MOULD INHIBITORS TO WET AREAS WHERE NOT TILED.
7. GROUND FLOOR:
7.1. NEW BEAM AND BLOCK FLOOR CONSTRUCTION:
7.1.1. FLOOR FINISHES TIMBER FLOORING/ TILE/STONE.
7.1.2. 65MM SAND CEMENT SCREED TO TAKE 18MM ROUTED INSULATION BOARD TO TAKE NEW WET SYSTEM
7.1.3. 500 GAUGE SEPARATING VCL LAYER
7.1.4. 120MM INSULATION ON
7.1.5. 1200 GAUGE DPM ON BEAM AND BLOCK FLOOR STRUCTURE.
7.1.6. ALL TO ACHIEVE MIN 0.18W/mPK
7.2. EXISTING FLOOR (ASSUMED TO BE TIMBER JOISTS):
7.2.1. ALLOW FOR 18MM PLYWOOD TO SR1 LEVEL REGULARITY ON EXISTING JOISTS
7.2.2. ALLOW FOR NEW 120MM INSULATION BETWEEN EXISTING JOISTS
8. FIRST FLOOR BUILD UP AND FINISHES:
8.1. ALLOW FOR CARPETS IN ALL HABITABLE ROOMS AND LANDING
8.2. CARPET RUNNERS TO TIMBER STAIR
8.3. ALL BATHROOMS, ENSUITES, WC, STORE AND UTILITY: ALLOW FOR 10MM PORCELAIN TILES OVER 5 MM ADHESIVE. DOOR THRESHOLD NEED TO BE LEVEL WITH BEDROOM FFL
8.4. ALL FLOOR TILES SHOULD HAVE DECOUPLING MEMBRANE AS PER MANUFACTURERS SPECIFICATION.
8.5. ALLOW FOR ALL GROUTS AND TRIMS AS NECESSARY.
9. WALL FINISHES:
INTERNAL WALL:
9.1. PLASTERED AND PAINTED GENERALLY WITH 1.NO MIST COAT SEALER AND 2.NO TOP COATS F&B SUPPLIED BY CLIENTS. ALLOW TO USE VINYL EMULSION WITH MOULD INHIBITORS TO WET AREAS WHERE NOT TILED.
9.2. NEW SOFTWOOD 150MM (TBC) SKIRTING.
9.3. WALL TILES AND THE PLASTER TO FLUSH WHERE HALF TILED WALL IN BATHROOMS/ENSUITES.
9.4. ALLOW TO INSTALL WALLPAPER TO CLIENTS CHOICE AS INDICATED IN BATHROOMS
9.5. ALLOW TO INSTALL WALLPAPER IN LANDING AREA.
- EXTERNAL WALL:
9.6. TO BE PAINTED THROUGHOUT THE EXTERNAL WALL WITH EXTERNAL QUALITY PAINT TO MATCH EXISTING
10. CEILING FINISHES:
10.1. NEW CEILING BOARD THROUGHOUT THE HOUSE.
10.1. PLASTERED AND PAINTED GENERALLY WITH 1.NO MIST COAT SEALER AND 2.NO TOP COATS F&B SUPPLIED BY CLIENTS. ALLOW TO USE VINYL EMULSION WITH MOULD INHIBITORS TO WET AREAS WHERE NOT TILED.
10.2. ALLOW TO PAINT KITCHEN, BATHROOMS, ENSUITES AND WC CEILING EMULSION WITH MOULD INHIBITORS.
11. NEW STAIRS:
11.1. ALLOW TO SUPPLY AND FIT NEW TIMBER STAIR AND BALUSTRADES AS INDICATED ON DRAWINGS FROM GROUND TO FIRST FLOOR.
11.2. MAINTAIN MIN 2M HEADROOM TO STAIR
12. HEATING:
12.2. FULLY REMOVE EXISTING OIL FIRED BOILER AND THE PIPES TO INSTALL A NEW ASHP
12.3. FULLY REMOVE EXISTING RADIATORS TO INSTALL NEW WITH THERMOSTATIC VALVES TO CLIENTS CHOICE.
12.4. FULLY REMOVE EXISTING HEATED TOWEL RAILS. NEW HEATED TOWEL RAILS TO BE DUAL FUEL, SPEC AS PER CLIENTS CHOICE.
12.5. ALL EXISTING REDUNDANT PIPES ETC TO BE FULLY STRIPPED OUT.
12.6. NEW ASHP
12.6.1. ALLOW FOR NEW ASHP - AIR SOURCED HEAT PUMP. SPEC AS PER CONTRACTORS M&E SUFFICIENT TO SERVE THE SIZE OF THE HOUSE.
12.7. ALLOW FOR NEW UNDERFLOOR HEATING AS INDICATED ON GA PLANS.
12.8. WOOD BURNER - NEW WOOD BURNER AND NEW FIRE PLACE, CHIMNEY BREAST AND BOXING TO COMPLY WITH HEATAS AND BUILDING REGULATIONS.
13. WINDOWS/ ROOFLIGHTS:
13.1. REFER TO WINDOW SCHEDULE FOR DETAILS.
13.2. ALL NEW WINDOW TO HAVE TRICKLE VENTS AND TO ACHIEVE 1.4 W/mPK
13.3. ALL NEW ROOF LIGHTS TO TO ACHIEVE 2.2 W/mPK

GENERAL ARRANGEMENT - CONSTRUCTION NOTES

14. EXTERNAL DOORS:
14.1. REFER TO DOOR SCHEDULE FOR DETAILS.
14.2. ALL NEW EXTERNAL DOOR SET TO ACHIEVE 1.4 W/mPK
15. INTERNAL DOORS:
15.1. ALLOW TO FULLY STRIP OUT EXISTING DOOR/DOOR SETS.
15.2. ALLOW TO INSTALL NEW DOORS TO CLIENTS CHOICE. SPEC TBC
15.3. IRONMONGERY TO CLIENTS CHOICE.
15.4. INTERNAL DOOR IN CRITICAL LOCATIONS TO BE AT LEAST ½ HR FIRE RATED.
15.5. ALLOW FOR BUILDING WORKS TO ADJUST THE DOOR HEIGHTS AND NEW LINTELS AS REQUIRED.
- ALL GLAZING TO DOORS AND WINDOWS BE SAFETY GLASS BELOW 800mm FROM FINISHED FLOOR LEVEL. DOOR AND WINDOW OPENING SHOULD BE MEASURED BY THE CONTRACTOR PRIOR TO ORDERING/MANUFACTURING.
16. WOODWORK:
16.1. ARCHITRAVES:
ALLOW TO SUPPLY AND FIT NEW PRE-PRIMED SOFTWOOD ARCHITRAVES TO ALL NEW DOOR FANS TO BE WALL/ CEILING MOUNTED HUMIDISTAT EXTRACTORS TO WHITE EGGSHELL DECORATION COLOUR TO CLIENTS CHOICE.
16.2. SKIRTING:
16.2.1. ALL ROOMS APART FROM WET ROOMS: SUPPLY AND FIT NEW SOFTWOOD SKIRTING TO MATCH EXISTING ELSEWHERE THROUGHOUT THE PROPERTY AND TO APPLY 2.NO COATS WHITE EGGSHELL DECORATION.
- 16.3. JOINERY:
REFER TO SCHEDULE OF WORKS
17. VENTILATION:
17.1. PROVIDE NEW FREE AIR EXTRACTION TO PROVIDE 30L/S EXTRACTION TO KITCHEN COOKER INSTALLED ABOVE COOKER. ALLOW TO SUPPLY AND INSTALL CEILING MOUNTED EXTRACTOR TO BE CONCEALED IN CEILING VOID AND EXTRACT THROUGH WALL AT HIGH LEVEL.
17.2. EXTRACTOR FANS TO BE WALL/ CEILING MOUNTED HUMIDISTAT EXTRACTORS TO PROVIDE 15L/S FREE AIR FLOW TO ALL BATHROOMS/ ENSUITES/UTILITY AND WC. WITH A SEPARATOR SWITCH/ ISOLATOR.
18. KITCHEN:
18.1. KITCHEN DESIGN INCLUDING APPLIANCES TBC
18.2. WORKTOP MATERIAL TBC
19. WC/ BATHROOMS/ ENSUITES/UTILITY
19.1. SEE LAYOUT DRAWINGS, 07 SERIES
19.2. BOXING AND ACCESS HATCH AS REQUIRED
20. FLAT ROOFS:
UPGRADE (COLD ROOF REFURBISHMENT):
20.1. ROOF COVERING REPLACED WITH GRP ON 18MM CLASS III PLY/18MM OSB3 T&G OVER EXISTING TIMBER STRUCTURES
20.2. 100MM INSULATION BETWEEN EXISTING JOISTS
20.3. 37.5MM INSULATED PLASTERBOARD UNDERSIDE OF THE JOISTS.
20.4. ALL TO ACHIEVE 0.22W/m2K
- NEW FLAT ROOF:
20.5 ALLOW FOR COLD ROOF. TIMBER TO SE DETAILS. GENERALLY C24 JOISTS AT 400 CTS
GRP ON 18MM EXTERIOR GRADE OSB 3/ CLASS III PLYWOOD T&G, ON EXISTING ROOF JOISTS. INSULATION TO BE 150MM CELOTEX XR4000. 52.5.5MM CELOTEX INSULATED PLASTERBOARD UNDERSIDE OF THE JOISTS. MINIMUM 50MM FIRING TO SLOPE 1 IN 80 FOR VENTILATED SPACE. PROVIDE MIN 150MM PERIMETER UPSTAND WHERE APPLICABLE. PROVIDE CODE 5 LEAD FLASHING OVER 18MM PLYWOOD UPSTAND WHERE REQUIRED.
- 20.6 PROVIDE 37.5MM INSULATED PLASTERBOARD INTERNAL OPENING OF THE LANTERN ROOFLIGHTS. PROVIDE RESTRAINT TO FLAT ROOF TO SE DETAILS. PROVIDE NECESSARY GRP TRIMS. ALLOW FOR DOUBLE UP TRIMMERS AROUND OPENING TO MATCH ROOF JOISTS TO SE DETAILS. ALL TO MEET MIN U VALUE OF 0.15 W/mPK
21. NEW PITCHED ROOF TO MATCH EXISTING
21.1. ALLOW FOR NEW BREATHER MEMBRANE
21.2. ALLOW FOR NEW TILE BATTENS
21.3. REUSE EXISTING RETAINED SLATE TILES WHERE APPROPRIATE.
21.4. ALLOW FOR NEW MATCHING SLATE TILES. AVOID MIX OF OLD AND NEW TILES ON THE SAME ROOF PITCH.
21.5. ALLOW FOR FREE VENTILATION THROUGH EAVES AND ALLOW FOR INLINE VENT TILES WHERE APPROPRIATE.
21.6. ROOF CONSTRUCTION, SLATE TILES, REPLACEMENT AND NEW SLATE TILES AND RIDGE TILES TO BAT REPORT AND THE BUILDING SURVEY.
21.7. ALLOW TO REPLACE EXISTING LEAD FLASHING AS REQUIRED. PLEASE SEE THE BUILDING SURVEY REPORT
21.8. ALLOW FOR BITUMEN TYPE 1F FELT IN BAT LOFT ROOF INSTEAD OF STANDARD BREATHABLE MEMBRANE.
22. LOFT INSULATION:
22.1. NEW 100MM CELOTEX INSULATION BOARD BETWEEN EXISTING CEILING JOISTS (100MM ASSUMED)
22.2. 70MM CELOTEX INSULATION BOARD
22.3. 12MM PLYWOOD DECKING
20.4. ALL TO ACHIEVE 0.15W/m2K
21. LOFT 'BAT' WALL:
21.1. ALLOW TO CONSTRUCT SEPARATING WALL BETWEEN BAT AND GENERAL LOFT SPACE
22. VENT TILES
22.1. ALLOW TO SUPPLY ALL NECESSARY VENT TILES, PROPRIETARY PENETRATION FLASHING AND TO FLASH THE PERIMETER ROOF IN CODE 5 LEAD AS PER LEAD CONTRACTORS ASSOCIATION GUIDELINES
23. GUTTERS, DOWNPIPES & SVP
23.1. ALLOW TO SUPPLY AND FIT NEW BLACK UPVC ROUND PIPES AND HALF ROUND GUTTERS AS NECESSARY AFFECTED BY THE WORKS. FULLY REPLACE EXISTING CAST IRON GUTTERS AND DOWNPIPES WITH BLACK UPVC GUTTERS AND PIPES.
24. FASCIAS / SOFFITS
24.1. ALLOW TO SUPPLY AND FIT NEW CLASS III GRADE PLY SOFFITS AND FASCIA BOARD TO BE PAINTED BLACK IN EXTERNAL GRADE GLOSS PAINT. ALLOW TO

WINDOW SCHEDULE (ALL WINDOWS TO BE DOUBLE GLAZED)

Ground Floor	
W0/01 1025X1510	Timber sash in existing opening (in existing opening)
W0/02 1025X1510	Timber sash in existing opening (in existing opening)
W0/03 1025X1510	Timber sash in new opening
W0/04 1025X1510	Timber sash in new opening
W0/05 1250X910	Timber casement
W0/06 1360X1585	Timber sash
W0/07 1360X1585	Timber sash
W0/08 1360X1585	Timber sash
W0/09 1360X1585	Timber sash
W0/10 1360X1585	Timber sash

First Floor	
W1/01 1025X1210	Timber sash in existing opening (in existing opening)
W1/02 1025X1210	Timber sash in existing opening (in existing opening)
W1/03 1025X1210	Timber sash in existing opening (in existing opening)
W1/04 1025X1210	Timber sash
W1/05 1025X1210	Timber sash
W1/06 1025X1210	Timber sash
W1/07 1025X1210	Timber sash
W1/08 1025X1210	Timber sash
W1/09 1025X1585	Timber sash (Arched window)
W1/10 2035X1210	Timber sash (double sash windows)
W1/11 800X1210	Timber sash
W1/12 2035X1210	Timber sash (double sash windows)

Rooflights	
RL/01 1200X2000	Timber Triple glazed lantern fixed
RL/02 1200X2000	Timber Triple glazed lantern fixed
RL/101 900X1900	Double glazed metal framed fixed

DOOR SCHEDULE

External Doors	
D0/00 900x2110	New porch door
D0/01 826x2040	New timber door (entrance door)
D0/02 1475X2110	Timber framed double glazed double doors (SO)
D0/03 1475X2110	Timber framed double glazed double doors (SO)
D0/04 1475X2110	Timber framed double glazed double doors(SO)
D0/05 910x2110	Timber Framed panelled/ part glazed (SO)
D0/06 2150X2110	Timber framed double glazed double doors (SO)

Internal Doors	
D0/07 2X726X2040	Glazed double door timber framed
D0/08 726X2040	Timber panelled door FD30
D0/09 726X2040	Timber panelled door FD30
D0/10 726X2040	Timber panelled double acting door FD30
D0/11 2X626X2040	Glazed double door timber framed
D0/12 826X2040	Timber panelled door FD30
D1/01 726X2040	Timber panelled door FD30
D1/02 726X2040	Timber panelled door FD30
D1/03 726X2040	Timber panelled door FD30
D1/04 726X2040	Timber panelled door FD30
D1/05 726X2040	Timber panelled door FD30
D1/06 726X2040	Timber panelled door FD30
D1/07 726X2040	Timber panelled door FD30

(SO=Structural Opening)

NOTE: ALL NEW AND EXISTING OPENINGS SHOULD BE MEASURED ON SITE PRIOR TO ORDERING/MANUFACTURING DOORS AND WINDOWS.

ADDITIONAL NOTES

GENERAL:
All dimensions are in millimetres and are to be checked on site prior to commencement, any discrepancies are to be reported to the Architects. DO NOT SCALE THESE DRAWING
All drawings are subject to Planning and Building Regulation Approval, any work carried out prior to receiving approval is at the Contractors/Clients risk.
Any services to be ducted through foundations are to have pre-cast concrete lintels over.
Incoming water main is to be laid at a depth of 750mm below ground level with risinf main insulated within a pvc duct.
Other services are to be laid at a min: depth of 450mm below ground level.
Generally holes, chases and recesses are to be in locations which least affect the strength, strability and sound resistance of the construction and to the min: size required.

Structural timber is to be SC3 grade unless otherwise stated, and with external timbers being treated with an approved preservative.

This plan is based on measured survey taken by others. Due care is exercised in surveying but no liability can be accepted for any inaccuracy, the client and third parties should rely on their own information, notwithstanding this the drawings are a fair representation of the premises for present purposes, copyright is held by the author: no unauthorised use shall be made of the drawings, given dimensions are in mm.

MATERIALS AND WORKMANSHIP

All works are to be carried out in a workmanlike manner. All materials and workmanship must comply with Regulation 7 of the Building Regulations, all relevant British Standards, European Standards, Agreement Certificates, Product Certification of Schemes (Kite Marks) etc. Products conforming to a European technical standard or harmonised European product should have a CE marking.

ELECTRICAL INSTALLATION:

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ELECTRICAL INSTALLATION:

WALL CONSTRUCTION:

WL1 - CAVITY WALL
U VALUE = 0.18 W/m2K min.
OUTER LEAF 102.5mm PAINTED FACING BRICK
125MM CAVITY WITH 115mm CELOTEX THERMA CLASS CAVITY WALL 21 + 10mm CLEAR RESIDUAL CAVITY
INNER LEAF 100MM CONCRETE BLOCK TO SE IN 1:1:6 MORTAR (CEMENT:HYDRATED LIME:SAND MORTAR)
INTERNAL FINISH - 12.5MM WALL BOARD ON DOT AND DABS
SKIMMED AND PAINTED
BRICK BONDING EXTERNALLY TO MATCH EXISTING

WL2 - NEW SOLID WALL
U VALUE = 0.18 W/m2K min.
102.5MM PAINTED FACING BRICK +100MM CONCRETE BLOCK TO SE IN 1:1:6 MORTAR BONDED TO EXTERNAL WALL EVERY 3 COURSES WITH NO GAP
WITH 100mm CELOTEX GA4000 INTERNAL INSULATION BOARD
25 mm AIR GAP
12.5MM WALL BOARD ON 25X38mm TREATED TIMBER FRAME ON INSULATION BOARD
INTERNAL FINISH - 12.5MM WALL BOARD FIXED TO BATTENS
SKIMMED AND PAINTED
BRICK BONDING EXTERNALLY TO MATCH EXISTING

WL3- EXTERNAL/INTERNAL WALL BLOCKED UP
MASONRY WALL THICKNESS TO MATCH EXISTING IN 1:1:6 MORTAR
NEW WALL KEYED INTO THE EXISTING
INTERNAL FINISH - 12.5mm wall BOARD DOT AND DABS
SKIMMED AND PAINTED

WL4- INTERNAL PARTITION WALL
47X75mm TREATED TIMBER STUDS @ 400 C/C
47X100MM TREATED TIMBER STUDS @400 C/C (BETWEEN FAMILY BATHROOM AND BEDROOM 1 WITH ROCKWOOL R45 FULL FILL INSULATION IN BETWEEN.
REFER 09_203 FOR DETAILS
WL4 - 1
WL4 - 2
WL4 - 3
WL4 - 4
USE MOISTURE RESISTANT PB IN WET AREAS UTILITY ROOM AND KITCHEN WHERE SKIMMED.

SEE 09_203 FOR PARTITION WALL CONSTRUCTION DETAILS

NOTE: ALL TIMBERS TO BE C24

WL5- EXTERNAL WALL THERMAL UPGRADE
EXISTING SOLID BRICK WALL: ALLOW TO APPLY INSULATION UPGRADE BY INSTALLING 50MM CELOTEX GA4000 ON EXISTING WALL JOINTS TAPED TO FORM VAPOUR CONTROL LAYER.
COUNTER BATTENS 25x47MM AT 600 C/C, 12.5MM PLASTERBOARD ON BATTENS AND 3MM MULTI FINISH PLASTER SKIM OVER. SEALED IN PREPARATION FOR DECORATION. ALL TO ACHIEVE MIN 0.30W/mPK

WL6- BAT WALL
47X75mm TREATED TIMBER STUDS @ 400 C/C
12.5mm PLASTER BOARD BOTH SIDES
BAT ACCESS HATCH 600WX825HxM 25mm THICK TIMBER DOOR WITH LATCH

NEW PITCHED ROOF/TRUSS: FOLLOW BAT REPORT FOR ROOFING AND STRUCTURE:
SLATE TILES TO MATCH EXISTING/RE USE
RETAINED EXISTING ON
25X38MM TILE BATTENS ON
BREATHABLE MEMBRANE ON
EXISTING/NEW TIMBER JOISTS
JOIST TO BE MIN 50X150MM C24 TO SE.

LOFT INSULATION:
12MM BOARD OVER
70MM CELOTEX GA4000 ABOVE CEILING JOISTS
100MM GA4000 BETWEEN JOISTS
12.5MM PLASTERBOARD
JOINTS TAPED AS VAPOUR CONTROL LAYER
SKIMMED AND PAINTED.

ALLOW FOR PROPRIETARY VENTILATION TRAY AT EAVES.

ALL TO ACHIEVE U VALUE 0.15 W/M2K

NEW ROOF TRUSSES TO SE
NOTES/MANUFACTURERS DETAILS
EXISTING CEILING JOISTS AND RAFTERS TO SITE TO BE CONFIRMED WITH SE.

Notes:
Do not scale from this drawing. All dimensions must be checked on site prior to manufacture. Any errors discovered to be highlighted to AJK Architecture + Design Ltd. All rights reserved. No reproduction, in any form, is permitted without prior written consent.
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Contact Architects if found any discrepancies on site.

This drawing should be read in conjunction with:

- AJK+AD GA Drawings
- Temporary works design
- Structural engineers drawings/details/spec
- Approved planning drawings
- Ecology report concerning bat
- Building survey report
- Any other relevant information to complete the works

TEMPORARY SUPPORTS AND PROTECTIONS

Maintain and alter, as necessary, as work proceeds. Do not leave unnecessary or unstable projections. Scaffolding should be alarmed.

SAFETY/WELFARE:

Provide necessary fall protection to avoid fall from heights
Provide/wear necessary PPE to avoid injuries from building works.
Ensure safety to public highways and neighbours.

IF IN DOUBT:

Ask concerned consultants/architects

21.05.2024 - C. ADDED RAIN WATER DRAINAGE
20.05.2024 - B. WINDOWS AMENDED
02.02.2024 ISSUED -BAT WALL NOTES ADDED
19.01.2024 ISSUED
09.01.2024 FOR CLIENTS COMMENTS
22.12.2023 FOR CLIENTS COMMENTS
07.12.2023 FOR CLIENTS COMMENTS
24.11.2023 FOR CLIENTS COMMENTS
09.11.2023 FOR CLIENTS MEETING
01.11.2023 DRAFT FOR COMMENTS
09.10.2023 DRAFT FOR COMMENTS

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OLD DENE COTTAGE, MILEY ROAD
WALTHAM ST LAWRENCE, READING
RG10

MR & MRS HARVEY

GENERAL NOTES

Scale Date Drawn	1/50 @ A1 09/08/2023 AJK	Drq No 269_03_000 c
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4. NEW EXTERNAL WALLS:
 - 4.1. CAVITY WALL: REFER TO DETAILS SERIES 09
 - 4.2. NEW SOLID WALL: REFER TO DETAILS SERIES 09
 - 4.3. BRICK BONDING TO BOTH NEW CAVITY AND SOLID WALL TO MATCH EXISTING
 - 4.4. ALL EXTERNAL WALL TO BE PAINTED WITH EXTERNAL GRADE PAINT, COLOUR TO CLIENTS CHOICE

5. NEW INTERNAL STUD WALLS: REFER TO DETAILS SERIES 09
 - 5.1. NEW WALLS TO BE CONSTRUCTED FROM 75MM X 47MM TIMBER STUD AT 400MM CENTRES. FULL FILL WITH ROCKWOOL RW45 INSULATION OR SIMILAR
 - 5.2. NEW WALL BETWEEN BEDROOM 1 AND FAMILY BATHROOM TO BE CONSTRUCTED FROM 100MM X 47MM TIMBER STUDS AT 400MM CENTRES. FULL FILL WITH ROCKWOOL RW45 INSULATION OR SIMILAR. CREATE OPENINGS TO INSTALL 2X MEDICINE CABINETS WITHIN THE WALL.
 - 5.3. ALL TO BE BOARDED EITHER SIDE IN 12MM OSB AND 12.5MM PLASTERBOARD WITH 3MM PLASTER SKIM FINISH APART FROM TILED AREAS WHERE 12.5MM WEDI BOARD IS TO BE USED IN PLACE OF OSB AND PLASTERBOARD WITH TILE ADHESIVE TO MANUFACTURERS GUIDELINES AND TILES TO CLIENTS CHOICE.
 - 5.4. ALLOW FOR ALL GROUTS AND TRIMS AS NECESSARY, COLOURS TBC
 - 5.5. PARTIALLY TILED WALL TO BE FLUSH WITH THE PLASTERED WALL.

6. EXISTING INTERNAL WALLS:
 - 6.1. REMOVE WALL LINING/PAPER/ BLOWN PLASTER FROM ALL WALL THROUGHOUT THE HOUSE.
 - 6.2. ALLOW TO RE-PLASTER ALL EXISTING WALLS THROUGHOUT THE HOUSE.
 - 6.3. ALLOW TO MAKE GOOD AND PAINT GENERALLY WITH 1 NO MIST COAT SEALER. TOP COAT TO BE CLIENT SUPPLY ITEM.
 - 6.4. ALLOW TO USE VINYL EMULSION WITH MOULD INHIBITORS TO WET AREAS WHERE NOT TILED.

7. GROUND FLOOR:
 - 7.1. NEW BEAM AND BLOCK FLOOR CONSTRUCTION:
 - 7.1.1. FLOOR FINISHES TIMBER FLOORING/ TILE/STONE.
 - 7.1.2. 65MM SAND CEMENT SCREED TO TAKE 18MM ROUTED INSULATION BOARD TO TAKE NEW WET SYSTEM
 - 7.1.3. 500 GAUGE SEPARATING VCL LAYER
 - 7.1.4. 120MM INSULATION ON
 - 7.1.5. 1200 GAUGE DPM ON BEAM AND BLOCK FLOOR STRUCTURE.
 - 7.1.6. ALL TO ACHIEVE MIN 0.18W/M²K
 - 7.2. EXISTING FLOOR (ASSUMED TO BE TIMBER JOISTS):
 - 7.2.1. ALLOW FOR 18MM PLYWOOD TO S1 LEVEL. REGULARITY ON EXISTING JOISTS
 - 7.2.2. ALLOW FOR NEW 120MM INSULATION BETWEEN EXISTING JOISTS

8. FIRST FLOOR BUILD UP AND FINISHES:
 - 8.1. ALLOW FOR CARPETS IN ALL HABITABLE ROOMS AND LANDING
 - 8.2. CARPET RUNNERS TO TIMBER STAIR
 - 8.3. ALL BATHROOMS, ENSUITES, WC, STORE AND UTILITY: ALLOW FOR 10MM PORCELAIN TILES OVER 5 MM ADHESIVE. DOOR THRESHOLD NEED TO BE LEVEL WITH BEDROOM FFL.
 - 8.4. ALL FLOOR TILES SHOULD HAVE DECOUPLING MEMBRANE AS PER MANUFACTURERS SPECIFICATION.
 - 8.5. ALLOW FOR ALL GROUTS AND TRIMS AS NECESSARY.

9. WALL FINISHES:
 - 9.1. INTERNAL WALL:
 - 9.1.1. PLASTERED AND PAINTED GENERALLY WITH 1 NO MIST COAT SEALER AND 2 NO TOP COATS F&B SUPPLIED BY CLIENTS. ALLOW TO USE VINYL EMULSION WITH MOULD INHIBITORS TO WET AREAS WHERE NOT TILED.
 - 9.1.2. NEW SOFTWOOD 150MM (TBC) SKIRTING.
 - 9.1.3. WALL TILES AND THE PLASTER TO FLUSH WHERE HALF TILED WALL IN BATHROOMS/ENSUITES.
 - 9.1.4. ALLOW TO INSTALL WALLPAPER TO CLIENTS CHOICE AS INDICATED IN BATHROOMS
 - 9.1.5. ALLOW TO INSTALL WALLPAPER IN LANDING AREA.

- 9.6. EXTERNAL WALL:
 - 9.6.1. TO BE PAINTED THROUGHOUT THE EXTERNAL WALL WITH EXTERNAL QUALITY PAINT TO MATCH EXISTING

10. CEILING FINISHES:
 - 10.1. NEW CEILING BOARD THROUGHOUT THE HOUSE.
 - 10.1.1. PLASTERED AND PAINTED GENERALLY WITH 1 NO MIST COAT SEALER AND 2 NO TOP COATS F&B SUPPLIED BY CLIENTS. ALLOW TO USE VINYL EMULSION WITH MOULD INHIBITORS TO WET AREAS WHERE NOT TILED.
 - 10.2. ALLOW TO PAINT KITCHEN, BATHROOMS, ENSUITES AND WC CEILING EMULSION WITH MOULD INHIBITORS.

11. NEW STAIRS:
 - 11.1. ALLOW TO SUPPLY AND FIT NEW TIMBER STAIR AND BALUSTRADES AS INDICATED ON DRAWINGS FROM GROUND TO FIRST FLOOR.
 - 11.2. MAINTAIN MIN 2M HEADROOM TO STAIR

12. HEATING:
 - 12.1. FULLY REMOVE EXISTING OIL FIRED BOILER AND THE PIPES TO INSTALL A NEW
 - 12.2. FULLY REMOVE EXISTING RADIATORS TO INSTALL NEW WITH THERMOSTATIC VALVES TO CLIENTS CHOICE.
 - 12.3. FULLY REMOVE EXISTING HEATED TOWEL RAILS. NEW HEATED TOWEL RAILS TO BE DUAL FUEL, SPEC AS PER CLIENTS CHOICE.
 - 12.4. ALL EXISTING REDUNDANT PIPES ETC TO BE FULLY STRIPPED OUT.
 - 12.5. NEW ASPH:
 - 12.5.1. ALLOW FOR NEW ASPH - AIR SOURCED HEAT PUMP. SPEC AS PER CONTRACTORS M&E SUFFICIENT TO SERVE THE SIZE OF THE HOUSE.
 - 12.5.2. ALLOW FOR NEW UNDERFLOOR HEATING AS INDICATED ON GA PLANS.
 - 12.5.3. WOOD BURNER - NEW WOOD BURNER AND NEW FIRE PLACE, CHIMNEY BREAST AND BOXING TO COMPLY WITH HEATAS AND BUILDING REGULATIONS.

13. WINDOWS/ ROOFLIGHTS:
 - 13.1. REFER TO WINDOW SCHEDULE FOR DETAILS.
 - 13.2. ALL NEW WINDOW TO HAVE TRICKLE VENTS AND TO ACHIEVE 1.4 W/m²K
 - 13.3. ALL NEW ROOF LIGHTS TO TO ACHIEVE 2.2 W/m²K

WALL KEY	
	INTERNAL BLOCKWORK LOAD BEARING WALL WITH PLASTERBOARD AND SKIM FINISH
	INTERNAL STUD PARTITION
	FULL FILL CAVITY WALL (BRICK & BLOCK, FACING BRICKWORK FINISH) WITH CAVITY CLOSER, PAINTED TO MATCH EXISTING BRICK BOND TO MATCH EXISTING WALL
	SOLID BRICK/BLOCKWORK WITH INSULATED PLASTERBOARD ON TIMBER BATTENS INTERNALLY
	EXISTING WALL
	DEMOLITION

ADDITIONAL NOTES

GENERAL:
All dimensions are in millimetres and are to be checked on site prior to commencement. Any discrepancies are to be reported to the Architects. DO NOT SCALE THESE DRAWING.
All drawings are subject to Planning and Building Regulation Approval, any work carried out prior to receiving approval is at the Contractors/Clients risk.
Any services to be ducted through foundations are to have pre-cast concrete lintels over.
Incoming water main is to be laid at a depth of 750mm below ground level with riser main insulated within a pvc duct.
Other services are to be laid at a min: depth of 450mm below ground level.
Generally holes, chases and recesses are to be in locations which least affect the strength, stability and sound resistance of the construction and to the min: size required.
Structural timber is to be SC3 grade unless otherwise stated, and with external timbers being treated with an approved preservative.

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MATERIALS AND WORKMANSHIP
All works are to be carried out in a workmanlike manner. All materials and workmanship must comply with Regulation 7 of the Building Regulations, all relevant British Standards, European Standards, Agreement Certificates, Product Certification of Schemes (Kite Marks) etc. Products conforming to a European technical standard or harmonised European product should have a CE marking.

ELECTRICAL INSTALLATION:

All electrical work is required to meet the requirements of Part P (Electrical Safety) will be designed, installed, inspected and tested by a person competent to do so. Electrical installer to issue an appropriate BS 7671 electrical installation certificate to satisfy building control.

INTERNAL LIGHTING
Install low energy light fittings that only take lamps having a luminous efficiency greater than 45 lumens per circuit watt and a total output greater than 400 lamp lumens. Not less than three energy efficient light fittings per four of all the light fittings in the main dwelling spaces to comply with Part L of the current Building Regulations and the Domestic Building Services Compliance Guide.

ABOVE GROUND DRAINAGE
All soil and vent pipes, rainwater pipes are to be nom: 100mm Dia: and kitemark Certified to BS4514 with all sanitary pipework installed in accordance with BS5572 with plastic waste pipe fittings and accessories to BS5254 or 5255.

All soil pipes are to be provided with access plates at the base and all changes in direction with vent pipes terminating a min: 900mm above the highest window opening and fitted with a ballon cage.
Waste pipe Dia: are generally to be in accordance with the following 38mm - Baths, Showers, Sinks, and Washing Machines, the latter with a min: 600mm stand pipe.
32mm - Wash Hand Basins, Bidets, all the above to be fitted with a min: 75mm deep seal trap or anti-vac trap if the run exceeds 1.5m in length.
100mm - W.C.'s, and to discharge through a suitable pvc adaptor. Stub stacks where identified are to be fitted with a Durgu valve or similar approved air admittance valve.
Over flows to water tanks and concealed fittings are to be 22mm and to discharge to a prominent external location.

INTERNAL DRAINAGE

To comply with Approved Document H. Sink and PVCU pipes, bends, and junctions are to comply with BS65 to have 75mm deep seal traps. Rodding eyes at all changes of directions. 100mm or 110mm SVP's to be connected to drain via an easy bend, and terminated at least 900mm above any window within 3m. Provide 25mm rockwool sound insulation to wrap around all internal svps. all internal svps could be concealed or boxed in.

UNDERGROUND DRAINAGE:
bath wastes min 40mm; whb and shower wastes min 32mm. All fittings with flexible joints, all designed and laid in accordance with BS8301.
All drains passing under buildings are to be encased in 150mm mass concrete, where drains pass through walls they are to be provided with a min: 150mm deep RC lintel and with flexible joints each side of the wall, and in no case to exceed 5.0m centres.
Foul and surface water drains are to be kept separate
All drains are to be provided with rodding points at the Head of the drain and in changes in direction and in no case to exceed 5.0m centres.

BACKGROUND AND PURGE VENTILATION
Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-3 within the window frame to be provided to new habitable rooms at a rate of min 5000mm²; and to kitchens, bathrooms, WCs and utility rooms at a rate of 2500mm².
Purge ventilation - New windows/roofights to have operable area in excess of 1/20th of the floor area if the window opens more than 30°, or 1/10th of the floor area if the window opens less than 30°.
Internal doors should be provided with a 10mm gap below the door to aid air circulation.
Ventilation provision in accordance with the Domestic Ventilation Compliance Guide.

SAFETY GLAZING

All glazing in critical locations to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K4 of the current building regulations, i.e. within 1500mm above floor level in doors and side panels within 300mm of door opening and within 800mm above floor level in windows.

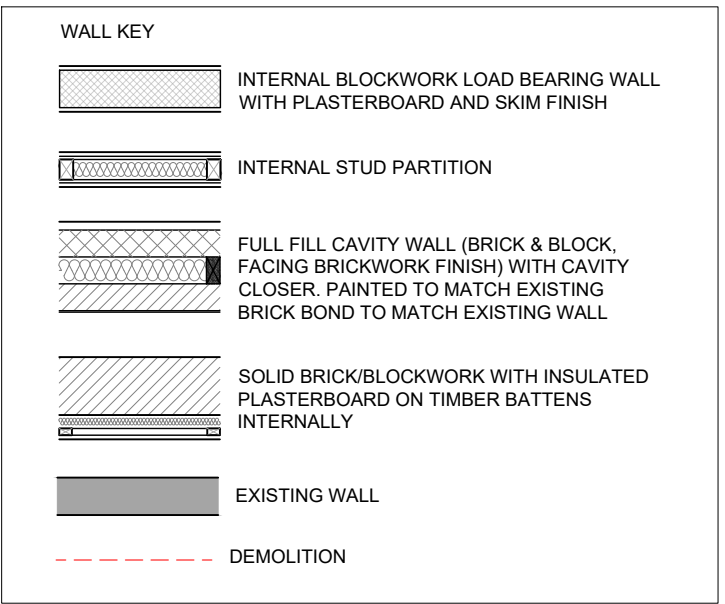
SMOKE DETECTION

Mains operated linked smoke alarm detection system to BS EN 14604 and BS 5839-6:2019 to at least a Grade D category D2 standard to be mains powered with battery back up to be placed on each storey with an additional linked heat detector at ceiling level in kitchens if required by BCO. Smoke alarms should be sited so that there is a smoke alarm in the circulation space on all levels/ storeys and within 7.5m of the door to every habitable room. If ceiling mounted they should be 300mm from the walls and light fittings. Where the kitchen area is not separated from the stairway or circulation space by a door, there should be an interlinked heat detector in the kitchen.

ALLOW FOR ALL TEMPORARY WORKS NECESSARY FOR THE COMPLETION OF THE WORKS

GENERAL ARRANGEMENT - CONSTRUCTION NOTES

14. EXTERNAL DOORS:
14.1. REFER TO DOOR SCHEDULE FOR DETAILS.
14.2. ALL NEW EXTERNAL DOOR SET TO ACHIEVE 1.4 W/m²K
15. INTERNAL DOORS:
15.1. ALLOW TO FULLY STRIP OUT EXISTING DOOR/DOOR SETS.
15.2. ALLOW TO INSTALL NEW DOORS TO CLIENTS CHOICE. SPEC TBC
15.3. IRONMONGERY TO CLIENTS CHOICE.
15.4. INTERNAL DOOR IN CRITICAL LOCATIONS TO BE AT LEAST ½ HR FIRE RATED.
15.5. ALLOW FOR BUILDING WORKS TO ADJUST THE DOOR HEIGHTS AND NEW LINTELS AS REQUIRED.
- ALL GLAZING TO DOORS AND WINDOWS BE SAFETY GLASS BELOW 800mm FROM FINISHED FLOOR LEVEL. DOOR AND WINDOW OPENING SHOULD BE MEASURED BY THE CONTRACTOR PRIOR TO ORDERING/MANUFACTURING.
16. WOODWORK:
16.1. ARCHITRAVES:
ALLOW TO SUPPLY AND FIT NEW PRE-PRIMED SOFTWOOD ARCHITRAVES TO ALL NEW DOOR OPENINGS THROUGHOUT THE PROPERTY AND TO APPLY 2.NO COATS WHITE EGGSHELL DECORATION COLOUR TO CLIENTS CHOICE.
16.2. SKIRTING:
16.2.1. ALL ROOMS APART FROM WET ROOMS: SUPPLY AND FIT NEW SOFTWOOD SKIRTING TO MATCH EXISTING ELSEWHERE THROUGHOUT THE PROPERTY AND TO APPLY 2.NO COATS WHITE EGGSHELL DECORATION.
- 16.3. JOINERY:
REFER TO SCHEDULE OF WORKS
17. VENTILATION:
17.1. PROVIDE NEW FREE AIR EXTRACTION TO PROVIDE 30L/S EXTRACTION TO KITCHEN COOKER INSTALLED ABOVE COOKER. ALLOW TO SUPPLY AND INSTALL CEILING MOUNTED EXTRACTOR TO BE CONCEALED IN CEILING VOID AND EXTRACT THROUGH WALL AT HIGH LEVEL.
17.2. EXTRACTOR FANS TO BE WALL/ CEILING MOUNTED HUMIDISTAT EXTRACTORS TO PROVIDE 15L/S FREE AIR FLOW TO ALL BATHROOMS/ ENSUITES/UTILITY AND WC. WITH A SEPARATOR SWITCH/ ISOLATOR.
18. KITCHEN:
18.1. KITCHEN DESIGN INCLUDING APPLIANCES TBC
18.2. WORKTOP MATERIAL TBC
19. WC/ BATHROOMS/ ENSUITES/UTILITY
19.1. SEE LAYOUT DRAWINGS 07 SERIES
19.2. BOXING AND ACCESS HATCH AS REQUIRED
20. FLAT ROOFS:
UPGRADE (COLD ROOF REFURBISHMENT):
20.1. ROOF COVERING REPLACED WITH GRP ON 18MM CLASS III PLY/18MM OSB3 T&G OVER EXISTING TIMBER STRUCTURES
20.2. 100MM INSULATION BETWEEN EXISTING JOISTS
20.3. 37.5MM INSULATED PLASTERBOARD UNDERSIDE OF THE JOISTS.
20.4. ALL TO ACHIEVE 0.22W/m²K
- NEW FLAT ROOF:
20.5 ALLOW FOR COLD ROOF. TIMBER TO SE DETAILS. GENERALLY C24 JOISTS AT 400 CTS.
GRP ON 18MM EXTERIOR GRADE OSB 3/ CLASS III PLYWOOD T&G. ON EXISTING ROOF JOISTS. INSULATION TO BE 150MM CELOTEX XRA000. 52.5.5MM CELOTEX INSULATED PLASTERBOARD UNDERSIDE OF THE JOISTS. MINIMUM 50MM FIRING TO SLOPE 1 IN 80 FOR VENTILATED SPACE. PROVIDE MIN 150MM PERIMETER UPSTAND WHERE APPLICABLE. PROVIDE CODE 5 LEAD FLASHING OVER 18MM PLYWOOD UPSTAND WHERE REQUIRED.
20.6 PROVIDE 37.5MM INSULATED PLASTERBOARD INTERNAL OPENING OF THE LANTERN ROOFLIGHTS. PROVIDE RESTRAINT TO FLAT ROOF TO SE DETAILS. PROVIDE NECESSARY GRP TRIMS. ALLOW FOR DOUBLE UP TRIMMERS AROUND OPENING TO MATCH ROOF JOISTS TO SE DETAILS. ALL TO MEET MIN U VALUE OF 0.15 W/M²K
21. NEW PITCHED ROOF TO MATCH EXISTING
21.1. ALLOW FOR NEW BREATHABLE MEMBRANE
21.2. ALLOW FOR NEW TILE BATTENS
21.3. REUSE EXISTING RETAINED SLATE TILES WHERE APPROPRIATE.
21.4. ALLOW FOR NEW MATCHING SLATE TILES. AVOID MIX OF OLD AND NEW TILES ON THE SAME ROOF PITCH.
21.5. ALLOW FOR FREE VENTILATION THROUGH EAVES AND ALLOW FOR INLINE VENT TILES WHERE APPROPRIATE.
21.6. ROOF CONSTRUCTION, SLATE TILES, REPLACEMENT AND NEW SLATE TILES AND RIDGE TILES TO BAT REPORT AND THE BUILDING SURVEY.
21.7. ALLOW TO REPLACE EXISTING LEAD FLASHING AS REQUIRED. PLEASE SEE THE BUILDING SURVEY REPORT
21.8. ALLOW FOR BITUMEN TYPE 1F FELT IN BAT LOFT ROOF INSTEAD OF STANDARD BREATHABLE MEMBRANE.
22. LOFT INSULATION:
22.1. NEW 100MM CELOTEX INSULATION BOARD BETWEEN EXISTING CEILING JOISTS (100MM ASSUMED)
22.2. 70MM CELOTEX INSULATION BOARD
22.3. 12MM PLYWOOD DECKING
20.4. ALL TO ACHIEVE 0.15W/m²K
21. LOFT 'BAT' WALL:
21.1. ALLOW TO CONSTRUCT SEPARATING WALL BETWEEN BAT AND GENERAL LOFT SPACE
22. VENT TILES
22.1. ALLOW TO SUPPLY ALL NECESSARY VENT TILES. PROPRIETARY PENETRATION FLASHING AND TO FLASH THE PERIMETER ROOF IN CODE 5 LEAD AS PER LEAD CONTRACTORS ASSOCIATION GUIDELINES
23. GUTTERS, DOWNPIPES & SVP
23.1. ALLOW TO SUPPLY AND FIT NEW BLACK UPVC ROUND PIPES AND HALF ROUND GUTTERS AS NECESSARY AFFECTED BY THE WORKS. FULLY REPLACE EXISTING CAST IRON GUTTERS AND DOWNPIPES WITH BLACK UPVC GUTTERS AND PIPES.
24. FASCIAS / SOFFITS
24.1. ALLOW TO SUPPLY AND FIT NEW CLASS III GRADE PLY SOFFITS AND FASCIA BOARD TO BE PAINTED BLACK IN EXTERNAL GRADE GLOSS PAINT. ALLOW TO



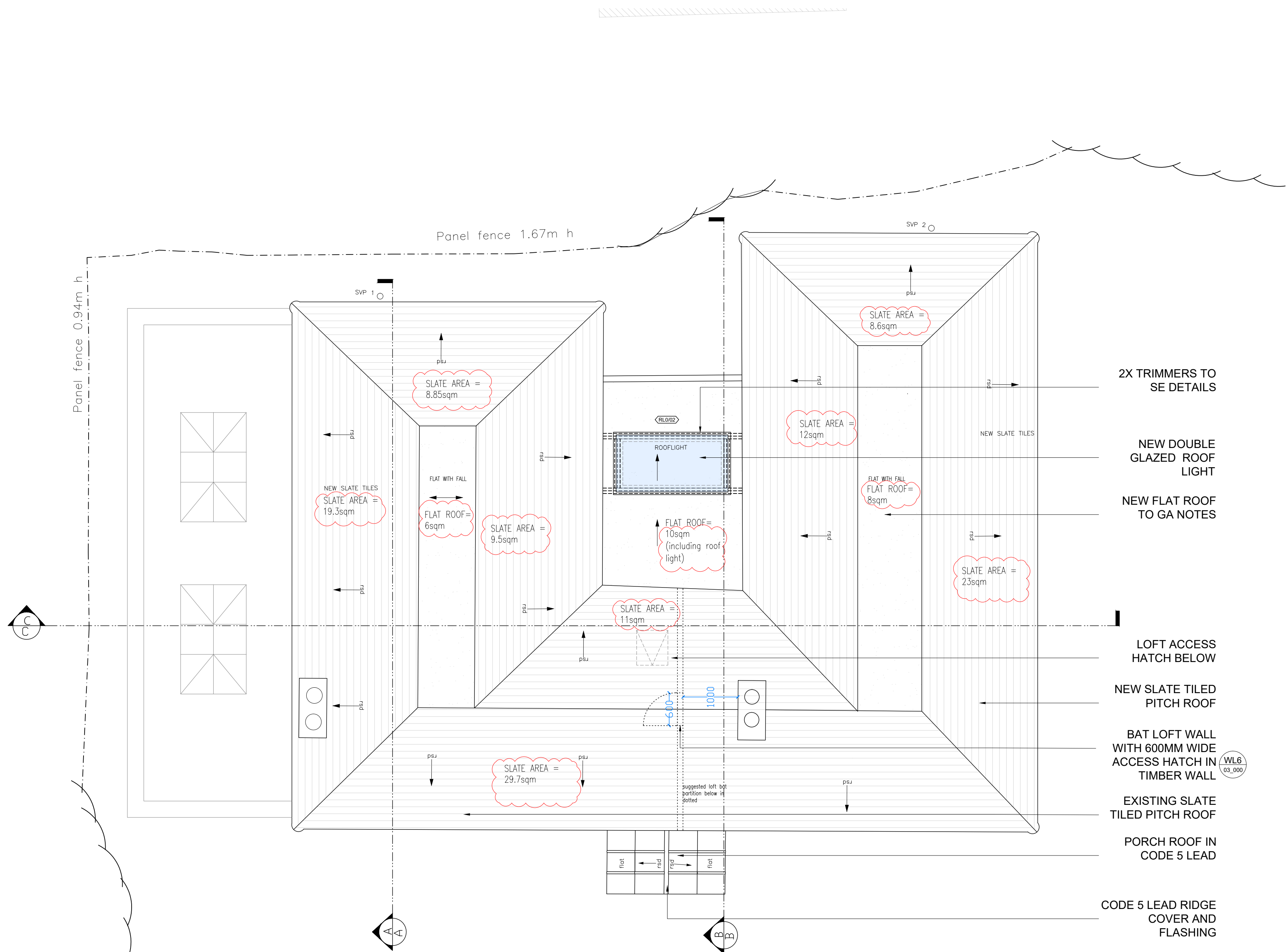
2 FIRST FLOOR PLAN

03

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-Temporary works design
-Structural engineers drawings/details/spec
-Approved planning drawings
-Ecology report concerning bat
-Building survey report
-Any other relevant information to complete the works



3 ROOF PLAN
03

22.04.2024 ISSUED -ROOF AREAS ADDED
02.02.2024 ISSUED -BAT NOTES ADDED

21.05.2024 C. ADDED RAIN WATER DRAINAGE
20.05.2024 B. WINDOWS AMENDED
02.02.2024 ISSUED -BAT WALL NOTES ADDED
19.01.2024 ISSUED
09.01.2024 FOR CLIENTS COMMENTS
22.12.2023 FOR CLIENTS COMMENTS
07.12.2023 FOR CLIENTS COMMENTS
24.11.2023 FOR CLIENTS COMMENTS
09.11.2023 FOR CLIENTS MEETING
01.11.2023 DRAFT FOR COMMENTS
09.10.2023 DRAFT FOR COMMENTS

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OLD DENE COTTAGE, MILEY ROAD
WALTHAM ST LAWRENCE, READING
RG10

MR & MRS HARVEY

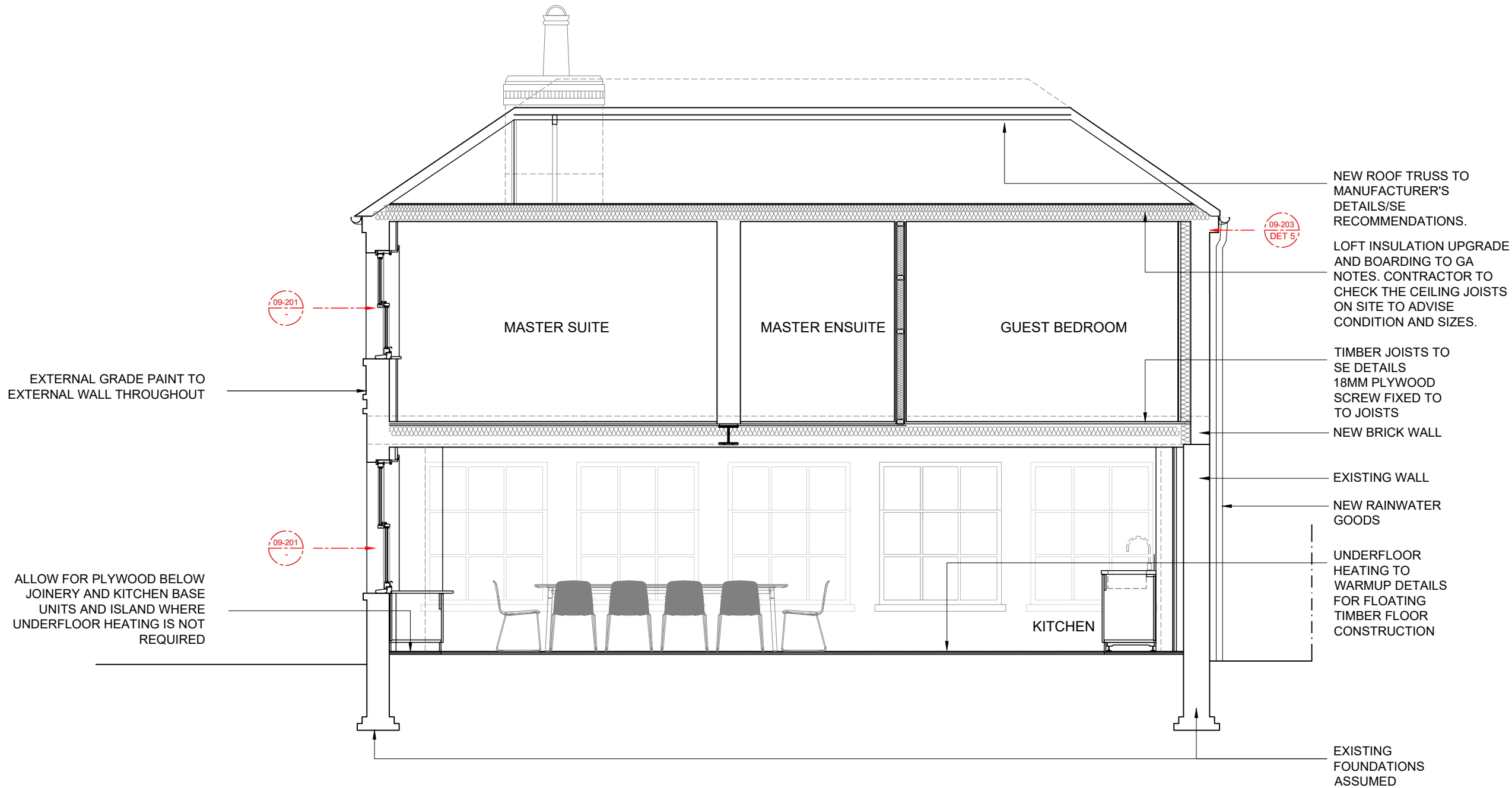
GA.
ROOF PLAN

Scale 1/50 @ A1
Date 09.08.2023
Drawn AJK
Drg No 269_03_203

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1
04 SECTION AA

0 1 2 3m

21.05.2024 .C. ADDED RAIN WATER DRAINAGE
20.05.2024 .B. WINDOWS AMENDED
02.02.2024 ISSUED -BAT WALL NOTES ADDED
19.01.2024 ISSUED
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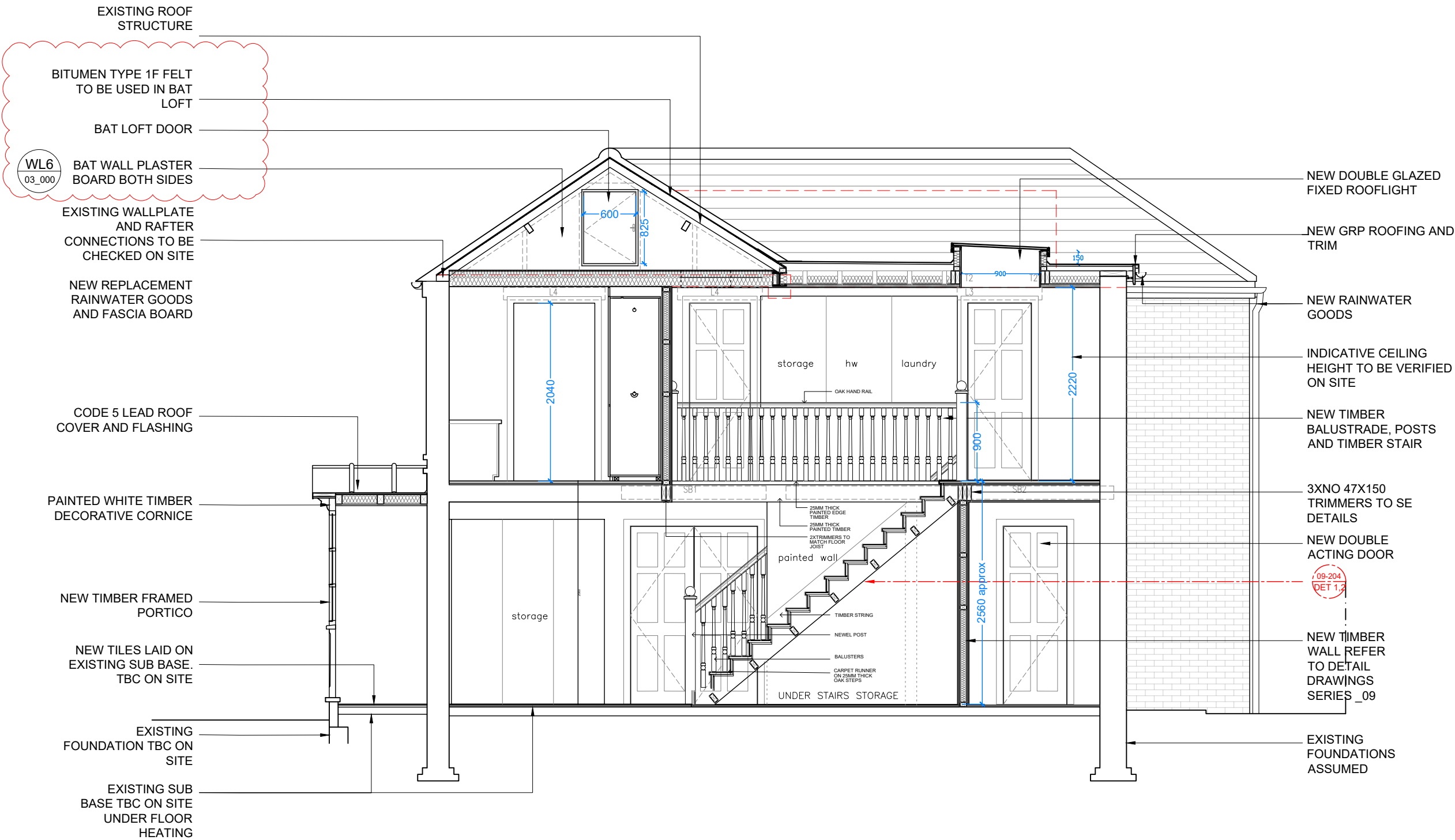
GA. SECTIONS AA

Scale 1/50 @ A3
Date 09.08.2023
Drawn AJK
Drg No 269_04_201
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02.02.2024 ISSUED -BAT NOTES ADDED

21.05.2024 .C. ADDED RAIN WATER DRAINAGE
20.05.2024 .B. WINDOWS AMENDED
02.02.2024 ISSUED -BAT WALL NOTES ADDED
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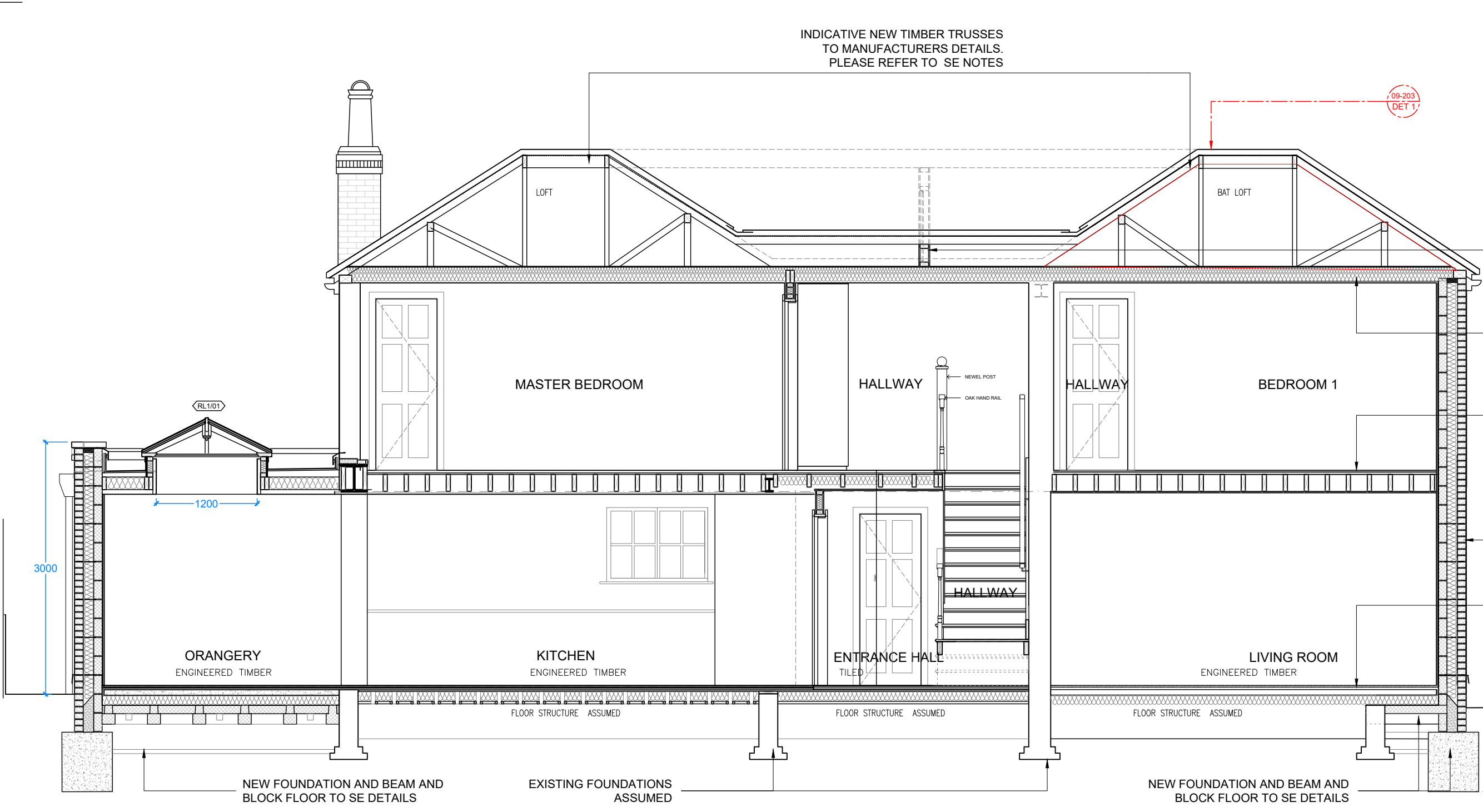
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GA. SECTIONS BB

Scale 1/50 @ A3
Date 09.08.2023
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INDICATIVE NEW TIMBER TRUSSES
TO MANUFACTURERS DETAILS.
PLEASE REFER TO SE NOTES

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BAT LOFT/ TIMBER
PARTITION WALL WITH
ACCESS HATCH AS
ADVISED ON ECOLOGY
REPORT.

LOFT INSULATION UPGRADE
AND BOARDING TO GA
NOTES. CONTRACTOR TO
CHECK THE CEILING JOISTS
ON SITE TO ADVISE
CONDITION AND SIZES.

TIMBER JOISTS TO
SE DETAILS
18MM PLYWOOD
SCREW FIXED TO
TO JOISTS

NEW CAVITY WALL TO GA
NOTES

UNDERFLOOR
HEATING TO
WARMUP DETAILS
FOR FLOATING
TIMBER FLOOR
CONSTRUCTION

FOUNDATION
DEPTH TO
SE TO BE
CONFIRMED
WITH BCO
ON SITE

02.02.2024 ISSUED -BAT NOTES ADDED
21.05.2024 .C. ADDED RAIN WATER DRAINAGE
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02.02.2024 ISSUED -BAT WALL NOTES ADDED
19.01.2024 ISSUED
09.01.2024 FOR CLIENTS COMMENTS
22.12.2023 FOR CLIENTS COMMENTS
07.12.2023 FOR CLIENTS COMMENTS
24.11.2023 FOR CLIENTS COMMENTS
09.11.2023 FOR CLIENTS MEETING
01.11.2023 DRAFT FOR COMMENTS
09.10.2023 DRAFT FOR COMMENTS

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LONDON, SE11 5DP
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M: 07773 287 283
W: ajkad.co.uk
E: info@ajkad.co.uk

OLD DENE COTTAGE, MILLEY ROAD
WALTHAM ST LAWRENCE, READING
RG10

MR & MRS HARVEY

GA. SECTIONS CC

Scale 1/50 @ A3
Date 09.08.2023
Drawn AJK
Drg No 269_04_203

3
04 SECTION CC

0 1 2 3m

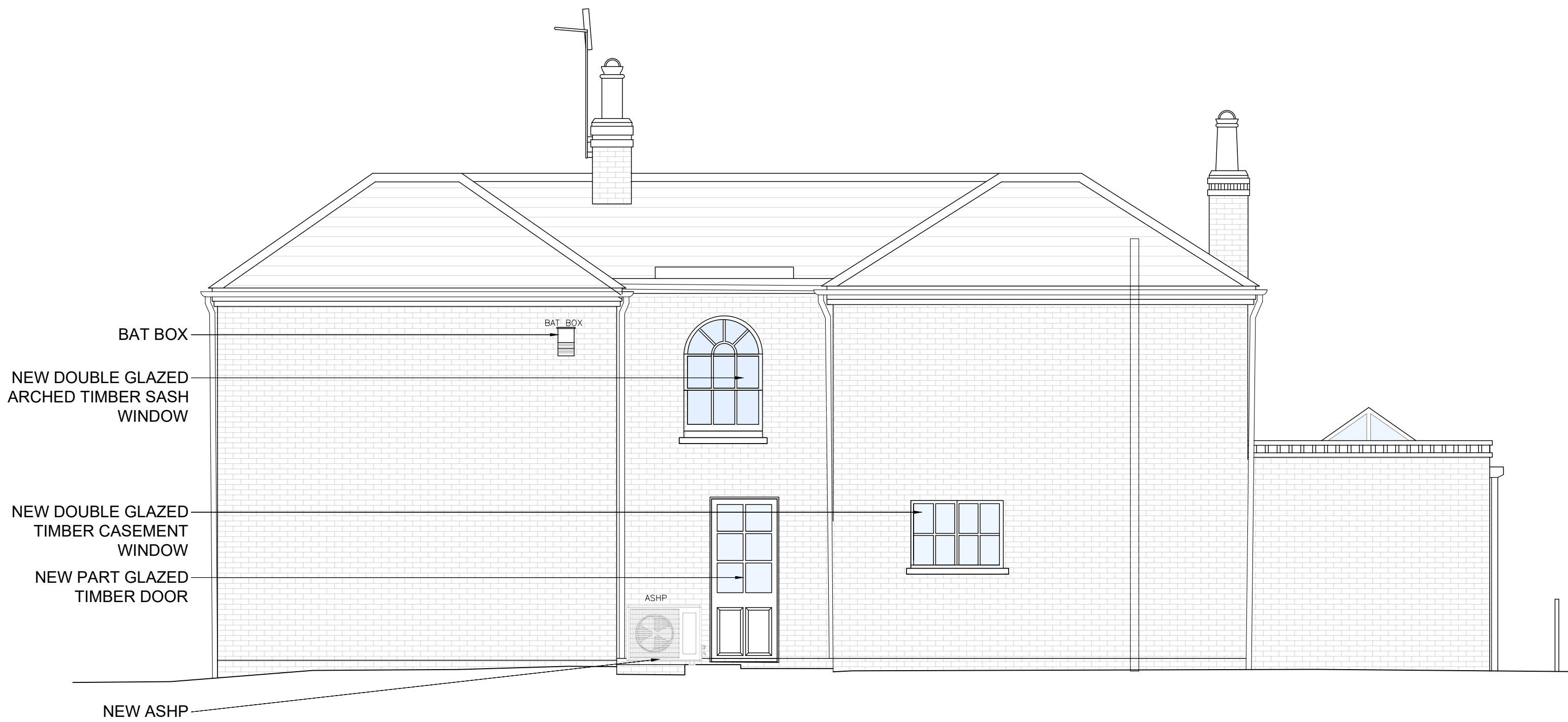
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-Building survey report
-Any other relevant information to complete the works



1
05 FRONT 'WEST' ELEVATION



2
05 REAR 'EAST' ELEVATION

21.05.2024 .C. ADDED RAIN WATER DRAINAGE
20.05.2024 .B. WINDOWS AMENDED
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01.11.2023 DRAFT FOR COMMENTS
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RG10

MR & MRS HARVEY

GA. PRIMARY AND
REAR ELEVATIONS

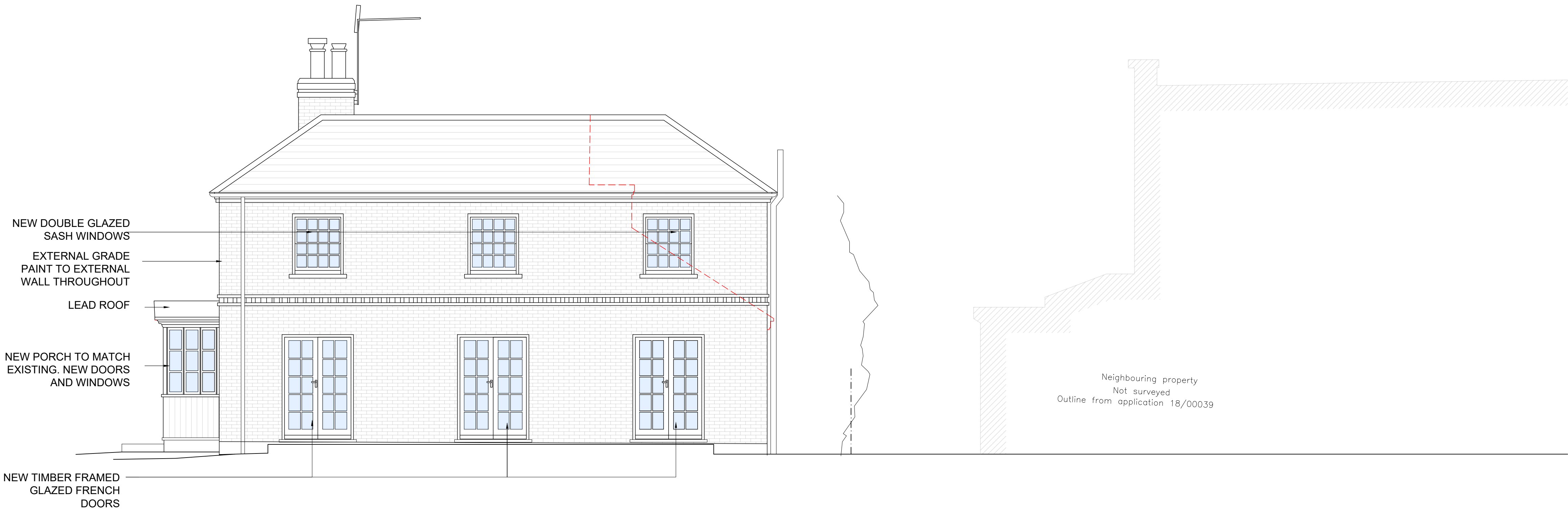
Scale 1/50 @ A1
Date 09.08.2023
Drawn AJK
Drg No 269_05_201

0 1 2 3m

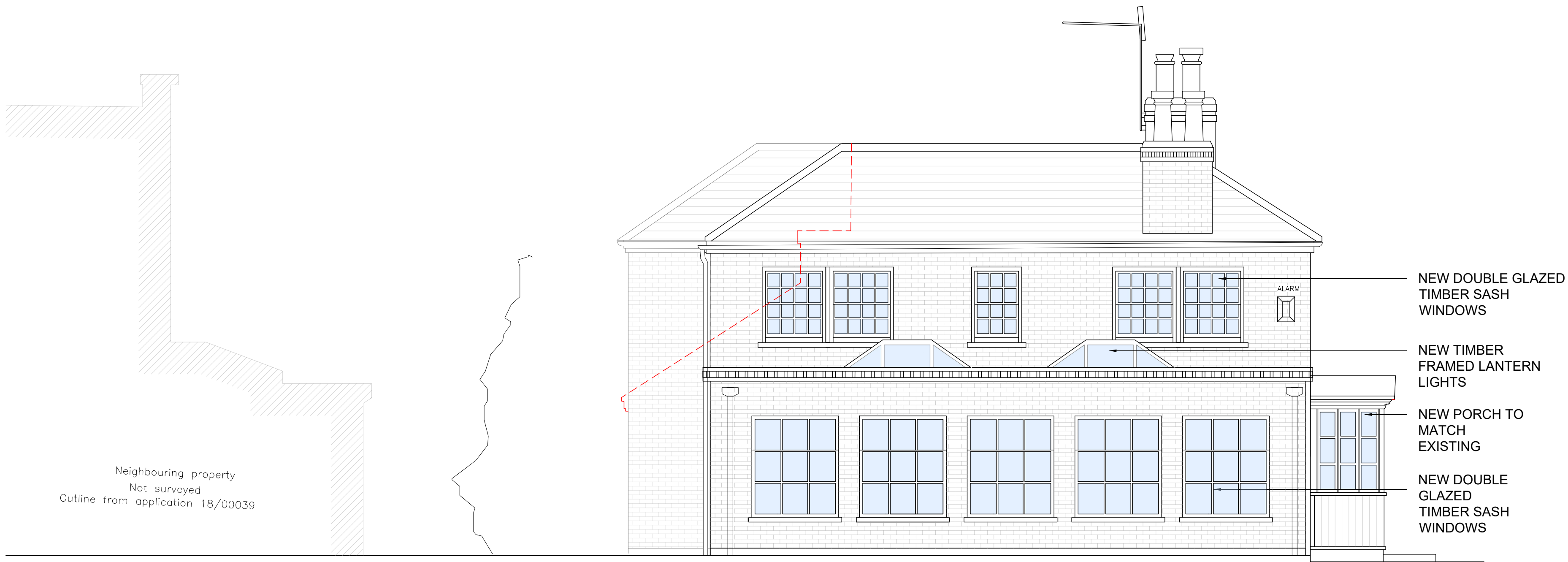
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3 SIDE 'SOUTH' ELEVATION
05



4 SIDE 'NORTH' ELEVATION
05



0 1 2 3m

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01.11.2023 DRAFT FOR COMMENTS
09.10.2023 DRAFT FOR COMMENTS

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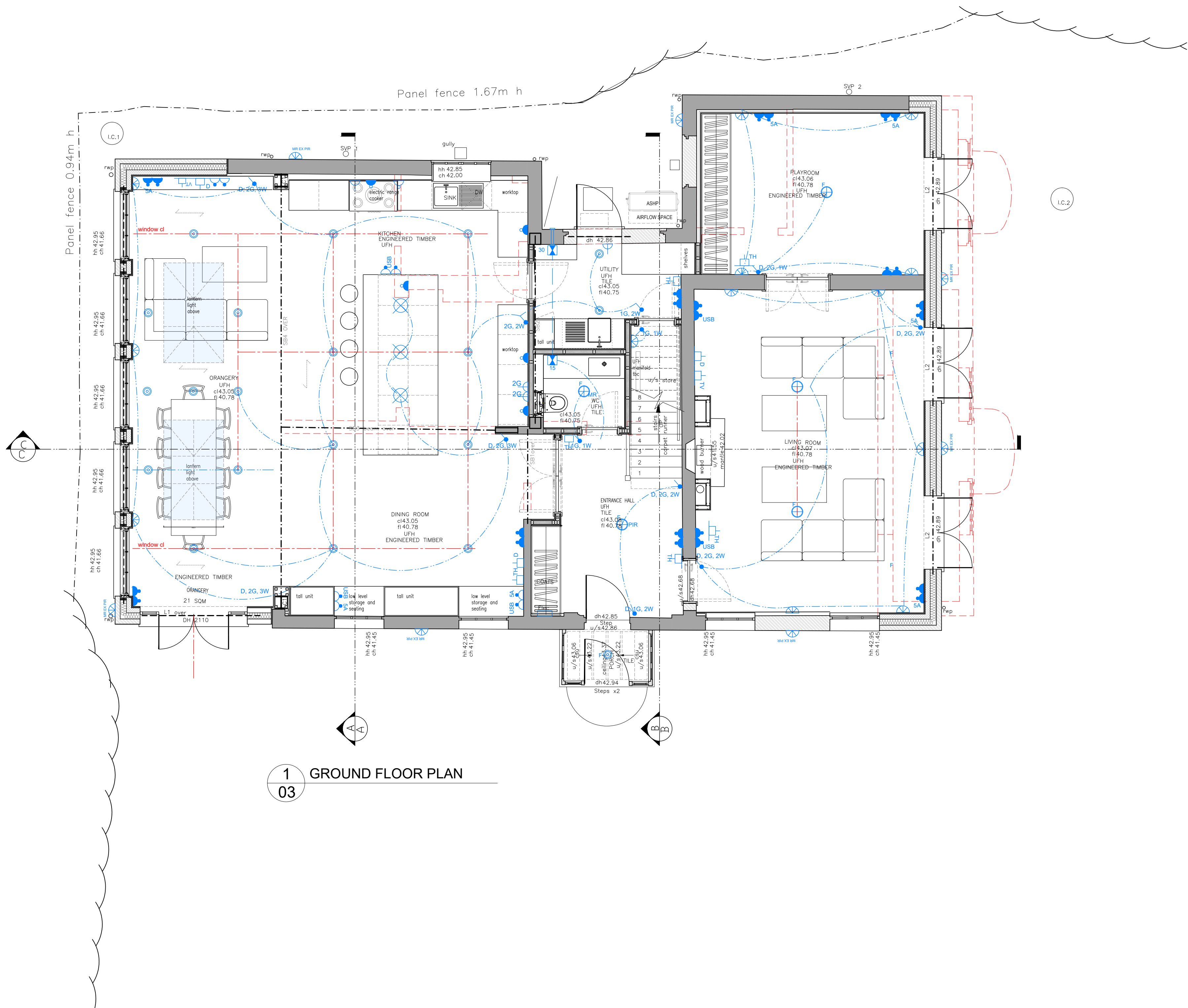
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RG10

MR & MRS HARVEY

GA. PRIMARY AND
REAR ELEVATIONS

Scale 1/50 @ A1
Date 09.08.2023
Drawn AJK
Drg No 269_05_202

WALL KEY	
	INTERNAL BLOCKWORK LOAD BEARING WALL WITH PLASTERBOARD AND SKIM FINISH
	INTERNAL STUD PARTITION
	FULL FILL CAVITY WALL (BRICK & BLOCK, FACING BRICKWORK FINISH) WITH CAVITY CLOSER, PAINTED TO MATCH EXISTING BRICK BOND TO MATCH EXISTING WALL
	SOLID BRICK/BLOCKWORK WITH INSULATED PLASTERBOARD ON TIMBER BATTENS INTERNALLY
	EXISTING WALL
	DEMOLITION



Symbol	Key	ELECTRICAL LEGEND
	Pendant light fitting	
	Recessed mini downlighter 240 volts.	
	IP 65 wall light 240 volts.	
	Flush ceiling light 240 volts.	
	IP65 Moisture resistant recessed downlighter 240 volts.	
	Recessed downlighter 240 volts.	
	Cupboard lighting door actuated	
	Uplighter	
	Recessed floor uplighter	
	Recessed wall stair floor wash light	
	LED Strip lighting	
	Wall lights	
	Wall lights - IP65 Moisture resistant; external; PIR	
	i.e 1 gang, 1 way light switch	
	Dimmer switch	
	Moisture Resistant External switch	
	5amp socket connected to lighting circuit	
	elec. plug point normal (above skirting)	
	elec. plug point with usb (above skirting)	
	elec. plug point/spur within kit. cupb/cooker. & spa bath	
	elec. plug point 200mm above kitchen w/top	
	elec. plug point at high for- hood, boiler, pelmet lights	
	Shaver Socket	
	Single Switched Fuse Spur/isolator switch	
	Single switched towel rail (TR) fuse spur at low level	
	15 litres / sec extraction	
	Smoke/Carbon Monoxide detector mains operated	
	Heat detector mains operated	
	Carbon Monoxide detector mains operated	
	Room stat	
	TV point	
	Data Point	
	External waterproof socket	
	Distribution Board	
	Electricity Meter	
	Wireless Access Point	
	Burglar alarm control panel	
	Burglar alarm server unit	
	PIR sensor for alarm system (Light)	
	Surface mounted sensor	
	Electric Circuit	
Notes	Allow all switched to be dimmer (to client's spec)	
Notes	Allow 50% of double sockets to have USB ports inc. (to client's spec)	
	Control alignment line	
Notes	Extraction to Kitchen to have an extract rating of 600m or 300m if adjacent to hob to external air	

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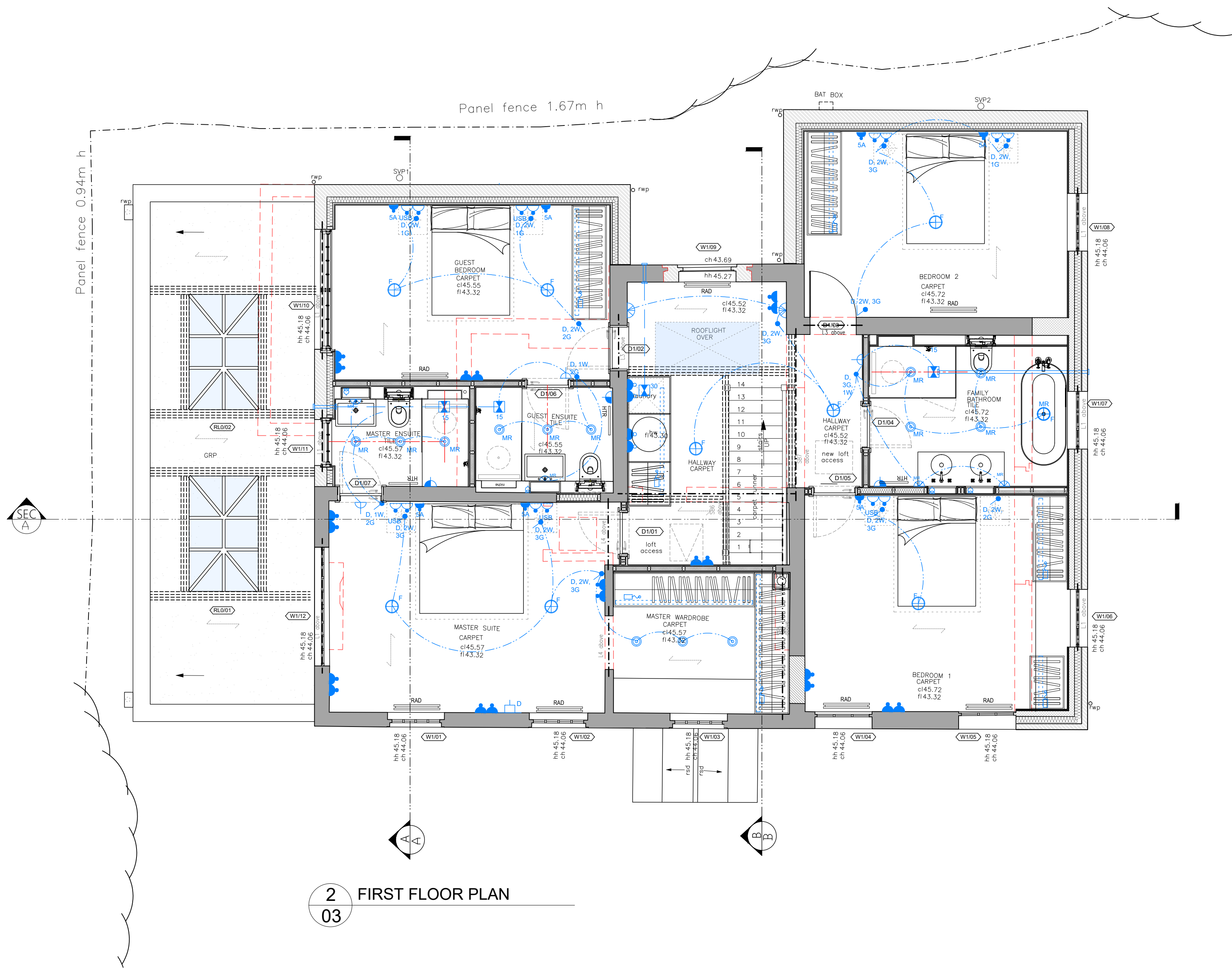
OLD DENE COTTAGE, MILLEY ROAD
WALTHAM ST LAWRENCE, READING
RG10

MR & MRS HARVEY

ELECTRICAL.
GROUND FLOOR PLAN

Scale 1/50 @ A1
Date 09.08.2023
Drawn AJK
Drg No 269_03_221
C

WALL KEY	
	INTERNAL BLOCKWORK LOAD BEARING WALL WITH PLASTERBOARD AND SKIM FINISH
	INTERNAL STUD PARTITION
	FULL FILL CAVITY WALL (BRICK & BLOCK, FACING BRICKWORK FINISH) WITH CAVITY CLOSER, PAINTED TO MATCH EXISTING BRICK BOND TO MATCH EXISTING WALL
	SOLID BRICK/BLOCKWORK WITH INSULATED PLASTERBOARD ON TIMBER BATTENS INTERNALLY
	EXISTING WALL
	DEMOLITION



Symbol	Key	ELECTRICAL LEGEND
	Pendant light fitting	
	Recessed mini downlighter 240 volts.	
	IP 65 wall light 240 volts.	
	Flush ceiling light 240 volts.	
	IP65 Moisture resistant recessed downlighter 240 volts.	
	Recessed downlighter 240 volts.	
	Cupboard lighting door actuated	
	Uplighter	
	Recessed floor uplighter	
	Recessed wall stair floor wash light	
	LED Strip lighting	
	Wall lights	
	Wall lights - IP65 Moisture resistant; external; PIR	
	i.e 1 gang, 1 way light switch	
	Dimmer switch	
	Moisture Resistant External switch	
	5amp socket connected to lighting circuit	
	elec. plug point normal (above skirting)	
	elec. plug point with usb (above skirting)	
	elec. plug point/spur within kit. cupb/cooker. & spa bath	
	elec. plug point 200mm above kitchen w/top	
	elec. plug point at high for- hood, boiler, pelmet lights	
	Shaver Socket	
	Single Switched Fuse Spur/isolator switch	
	Single switched towel rail (TR) fuse spur at low level	
	15 litres / sec extraction	
	Smoke/Carbon Monoxide detector mains operated	
	Heat detector mains operated	
	Carbon Monoxide detector mains operated	
	Room stat	
	TV point	
	Data Point	
	External waterproof socket	
	Distribution Board	
	Electricity Meter	
	Wireless Access Point	
	Burglar alarm control panel	
	Burglar alarm server unit	
	PIR sensor for alarm system (Light)	
	Surface mounted sensor	
	Electric Circuit	
	Notes	Allow all switched to be dimmer (to client's spec)
	Notes	Allow 50% of double sockets to have USB ports inc. (to client's spec)
	Notes	Central alignment line
	Notes	Extraction to Kitchen to have an extract rating of 600% or 300% if adjacent to hob to external air

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-Building survey report
-Any other relevant information to complete the works

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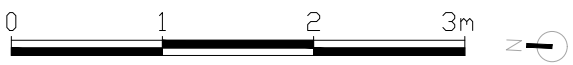
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OLD DENE COTTAGE, MILLEY ROAD
WALTHAM ST LAWRENCE, READING
RG10

MR & MRS HARVEY

ELECTRICAL.
FIRST FLOOR PLAN

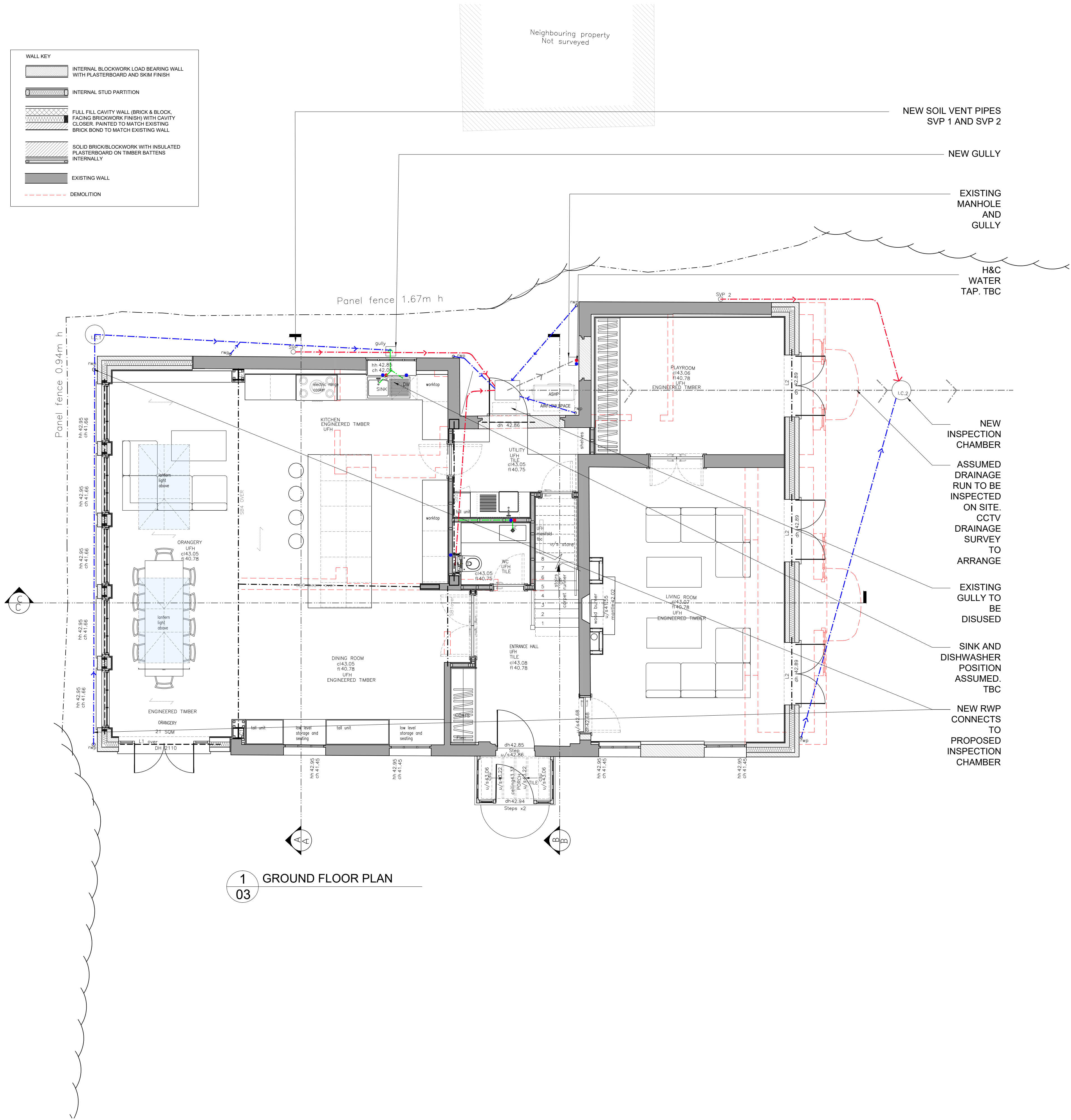
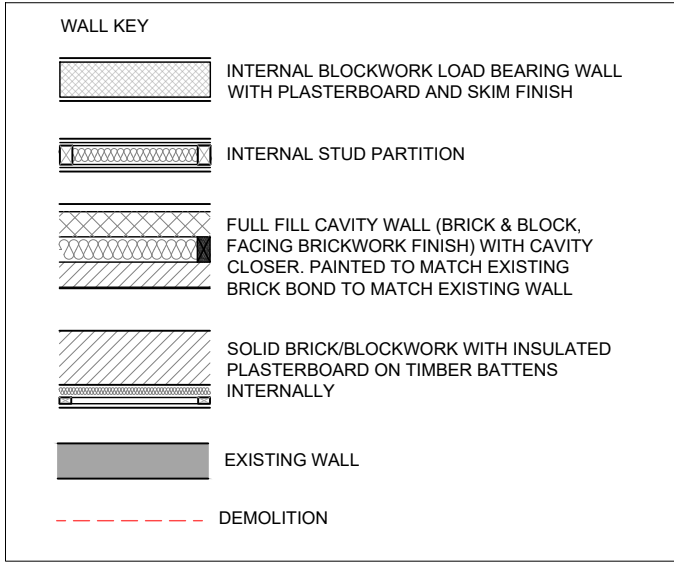
Scale Date Drawn	1/50 @ A1 09.08.2023 AJK	Drw No 269_03_222
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DRAINAGE KEY

- SURFACE WATER
- WASTE/FOUL BELOW GROUND
- WASTE /FOUL ABOVE GROUND
- ASSUMED EXISTING DRAINAGE
- HOT WATER SUPPLY
- COLD WATER SUPPLY
- G GULLY WITH TRAP
- I.C. NEW INSPECTION CHAMBER
- r.e. RODDING EYE
- A AIR ADMITTANCE VALVE
- < ASSUMED/New DRAINAGE RUN
- FD FLOOR DRAIN

NOTES

CONTRACTOR TO CHECK THE CCTV DRAINAGE SURVEY FOR EXISTING DRAINAGE RUN.

ALLOW TO NEW TRENCHES FOR BELOW GROUND DRAINAGE. ANY SHALLOW DRAINS SHOULD BE ENCASED IN LEAN CONCRETE. ALLOW FOR PEASHINGLES BELOW UNDER GROUND PIPES.

1
03 GROUND FLOOR PLAN

21.05.2024 .C. ADDED RAIN WATER DRAINAGE
20.05.2024 .B. WINDOWS AMENDED
02.02.2024 ISSUED -BAT WALL NOTES ADDED
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WALTHAM ST LAWRENCE, READING
RG10

MR & MRS HARVEY

DRAINAGE.
GROUND FLOOR PLAN

Scale 1/50 @ A1
Date 09.08.2023
Drawn AJK
Drg No 269_03_321

WALL KEY

- INTERNAL BLOCKWORK LOAD BEARING WALL WITH PLASTERBOARD AND SKIM FINISH
- INTERNAL STUD PARTITION
- FULL FILL CAVITY WALL (BRICK & BLOCK, FACING BRICKWORK FINISH) WITH CAVITY CLOSER, PAINTED TO MATCH EXISTING BRICK BOND TO MATCH EXISTING WALL
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- EXISTING WALL
- DEMOLITION

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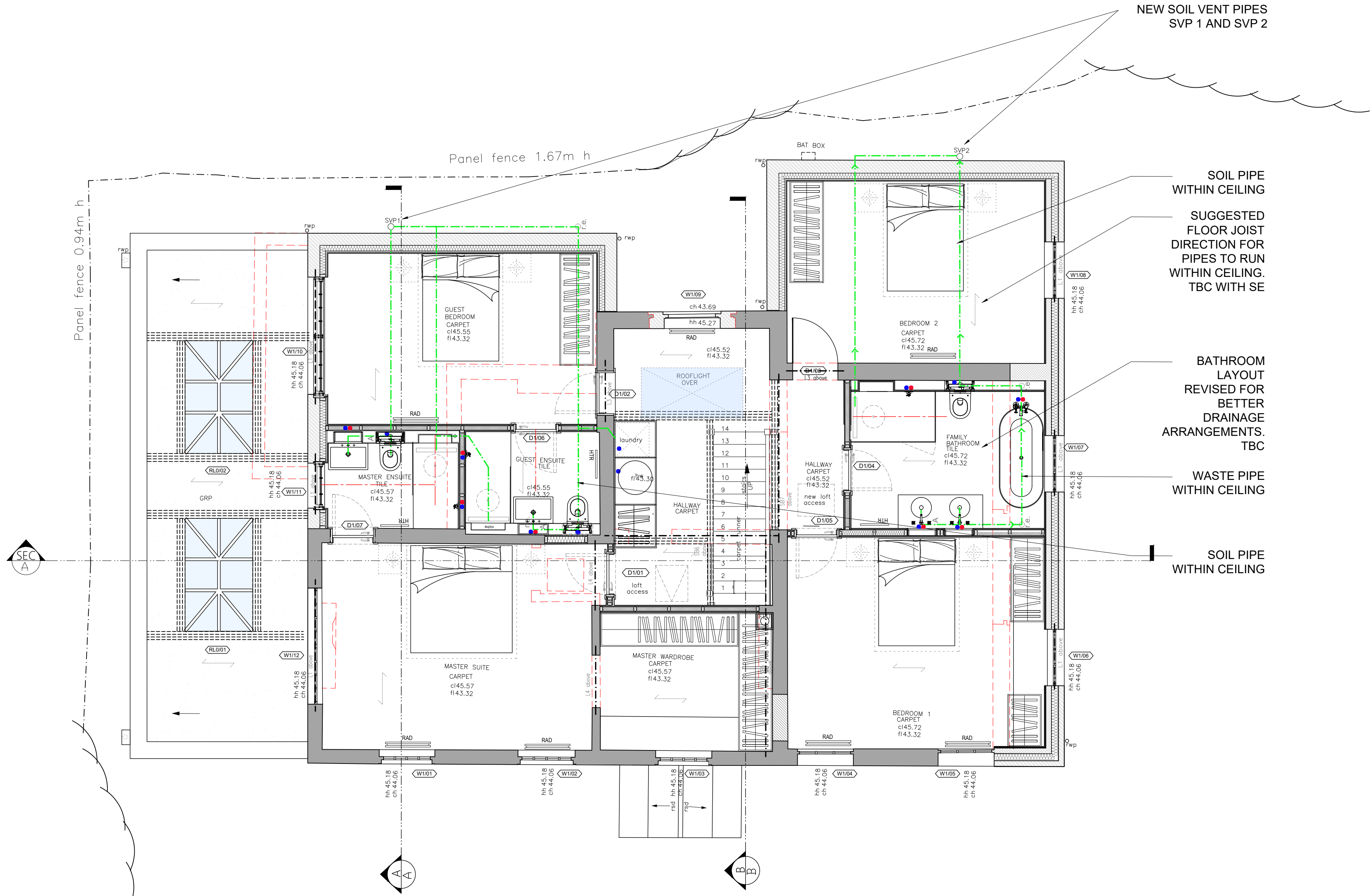
DRAINAGE KEY

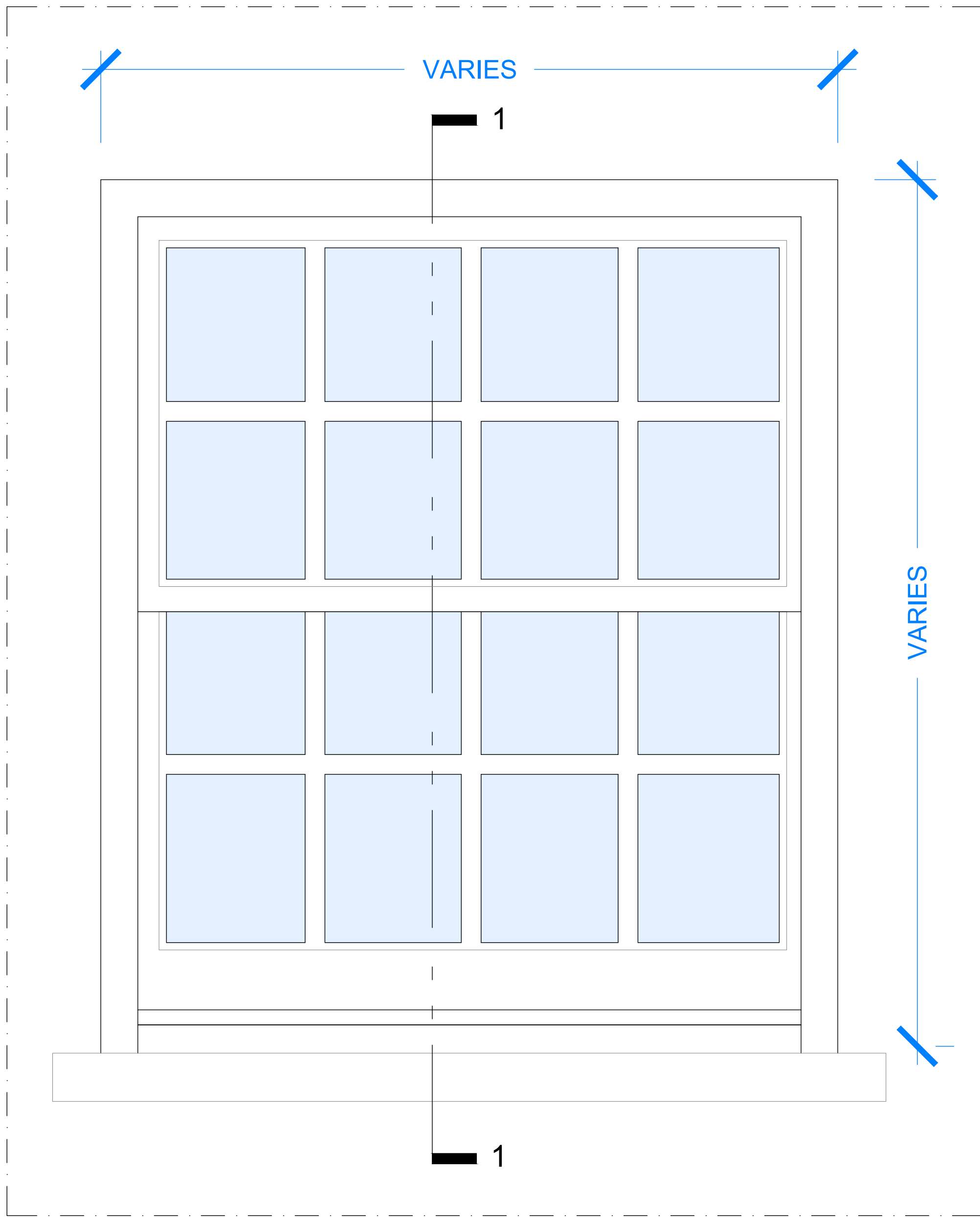
- SURFACE WATER
- WASTE/FOUL BELOW GROUND
- WASTE /FOUL ABOVE GROUND
- ASSUMED EXISTING DRAINAGE
- HOT WATER SUPPLY
- COLD WATER SUPPLY
- GULLY WITH TRAP
- NEW INSPECTION CHAMBER
- RODDING EYE
- AIR ADMITTANCE VALVE
- ASSUMED/New DRAINAGE RUN
- FLOOR DRAIN

NOTES

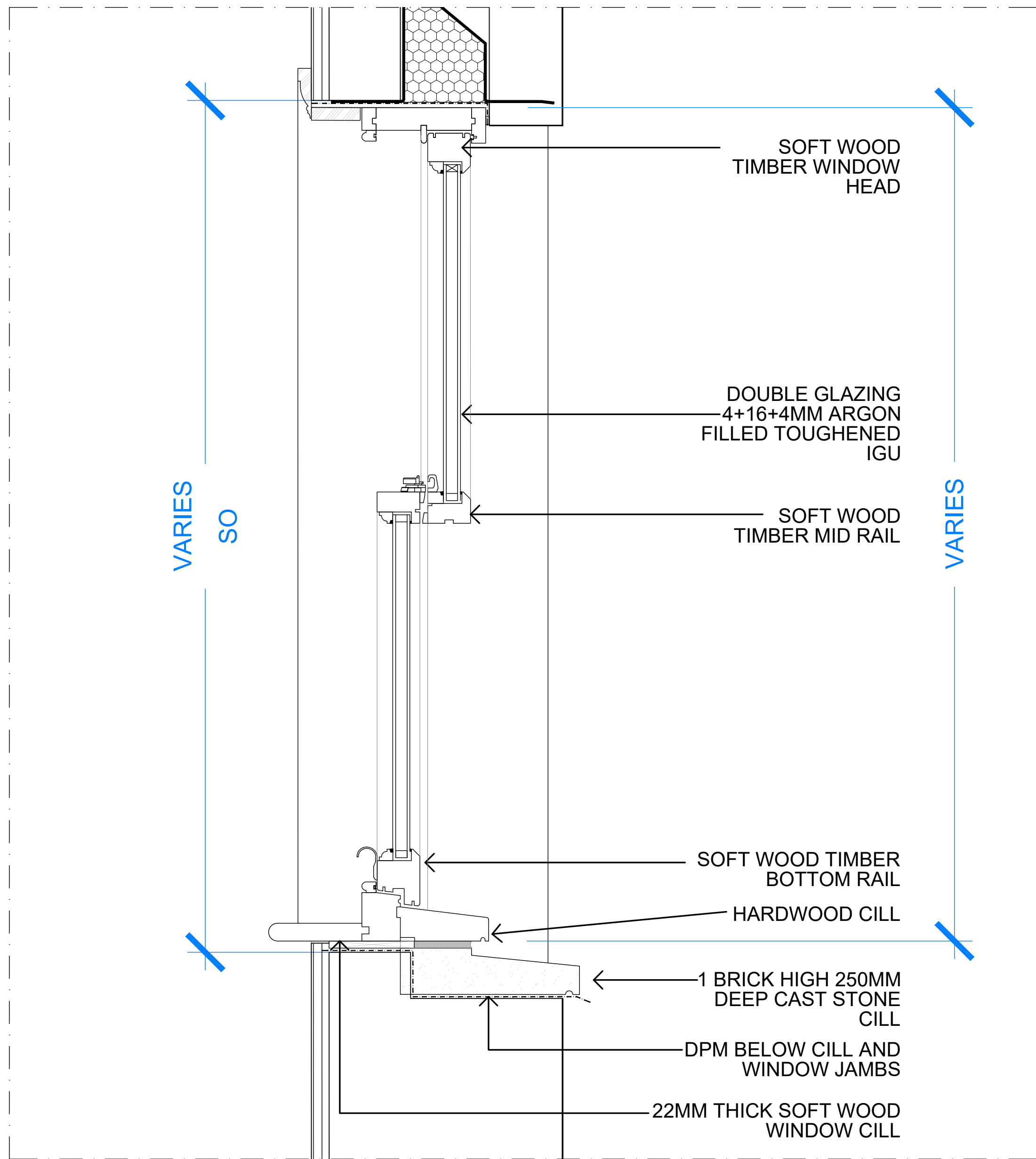
CONTRACTOR TO CHECK THE CCTV DRAINAGE SURVEY FOR EXISTING DRAINAGE RUN.

ALLOW TO NEW TRENCHES FOR BELOW GROUND DRAINAGE. ANY SHALLOW DRAINS SHOULD BE ENCASED IN LEAN CONCRETE. ALLOW FOR PEASHINGLES BELOW UNDER GROUND PIPES.

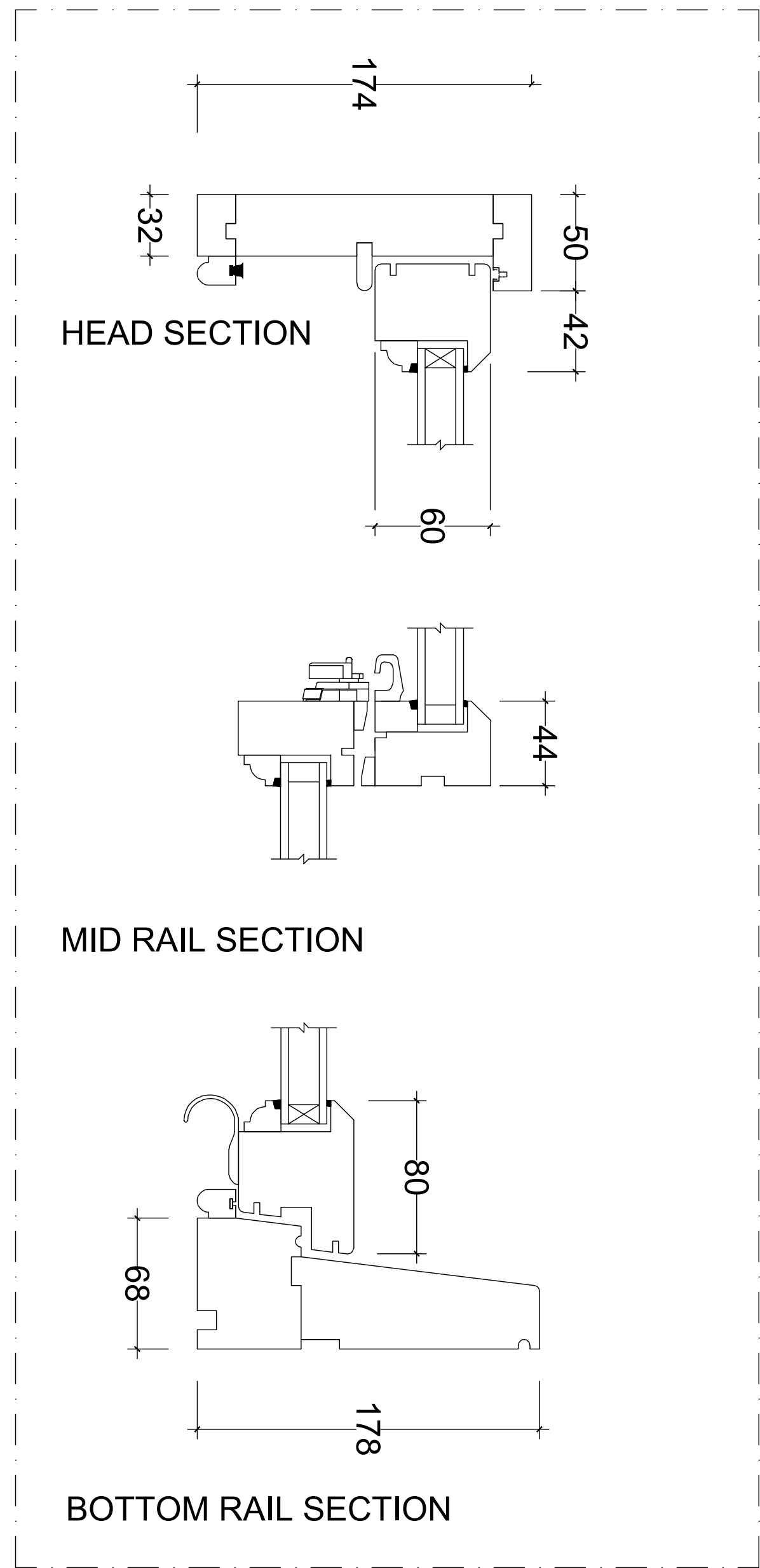




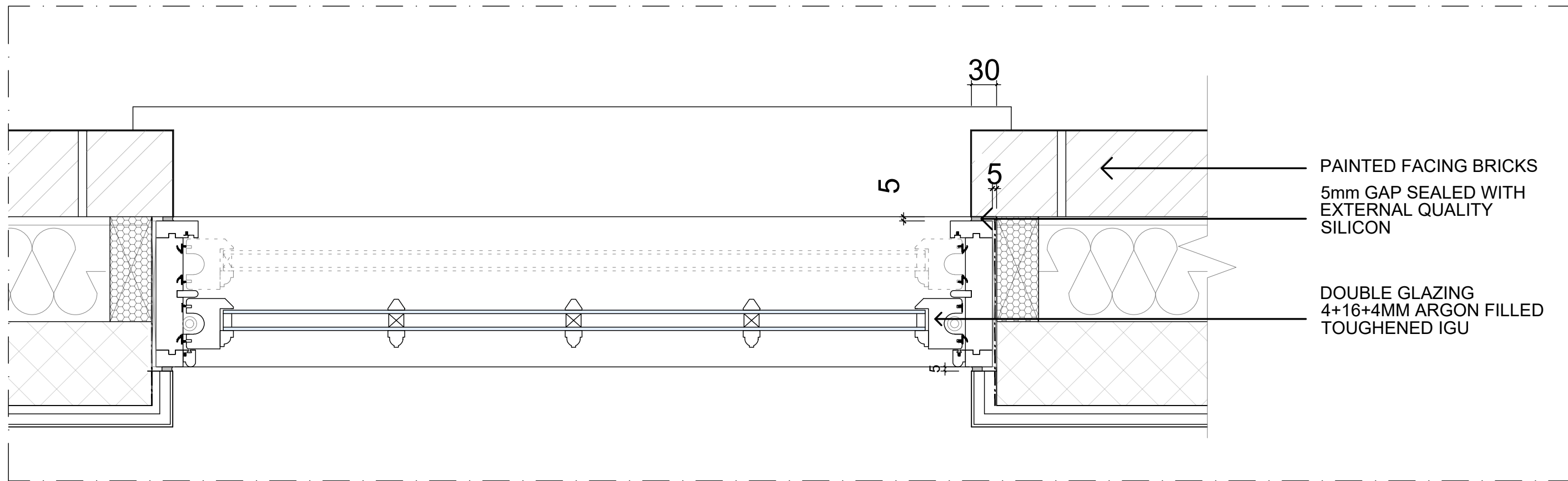
2 ELEVATION
09 SCALE 1:5 @A1/ 1:10@A3



3 SECTION 1-1
09 SCALE 1:5 @A1/ 1:10@A3

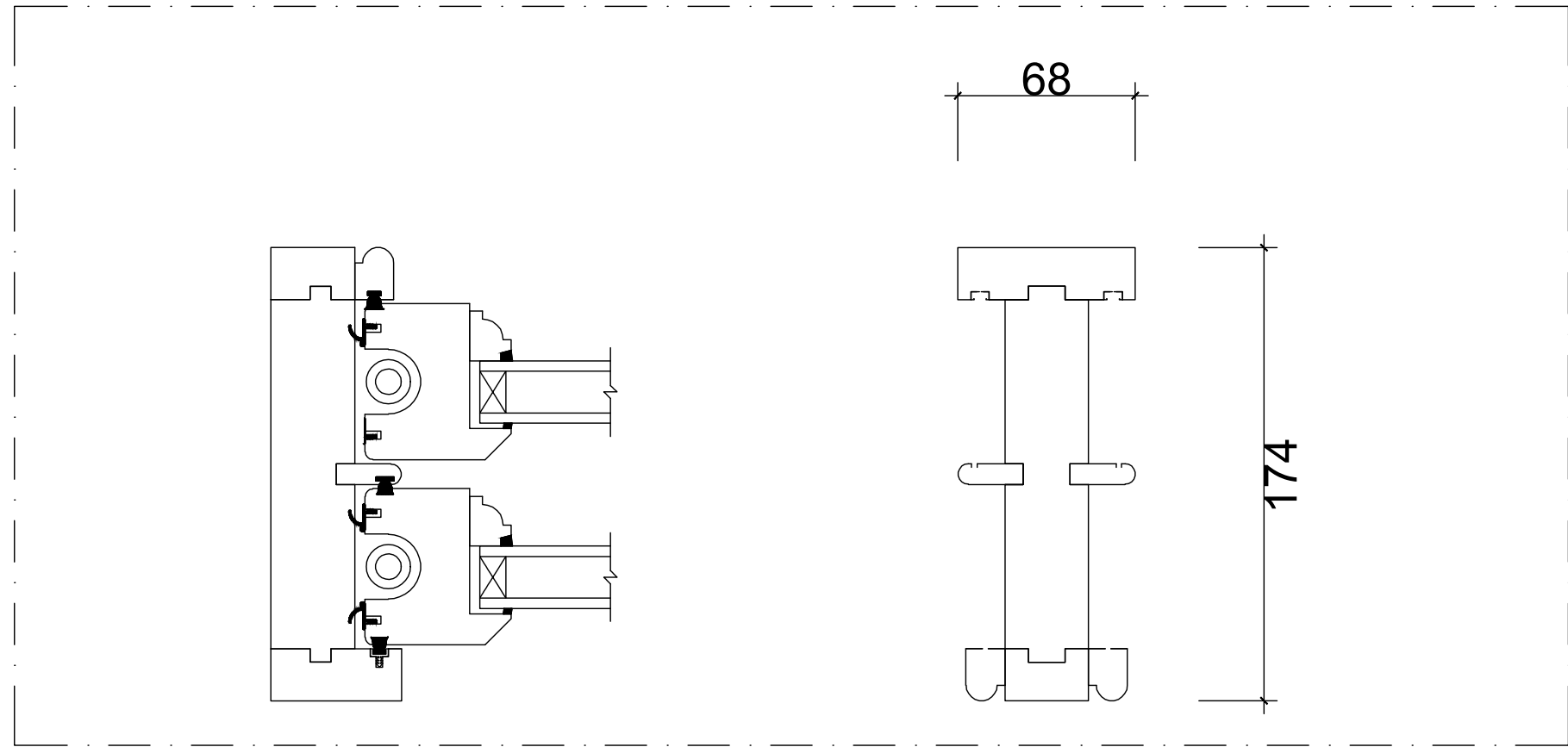


4 SECTIONS
09 SCALE 1:5 @A1/ 1:10@A3



1 PLAN
09 SCALE 1:5 @A1/ 1:10@A3

INDICATIVE WINDOW DETAILS TO LOMAX+WOOD OR SIMILAR. THE SIZING TO CONTRACTORS MEASUREMENTS.



6 JAMB
09 SCALE 1:2.5 @A1/ 1:5@A3

7 MULLION
09 SCALE 1:2.5 @A1/ 1:5@A3

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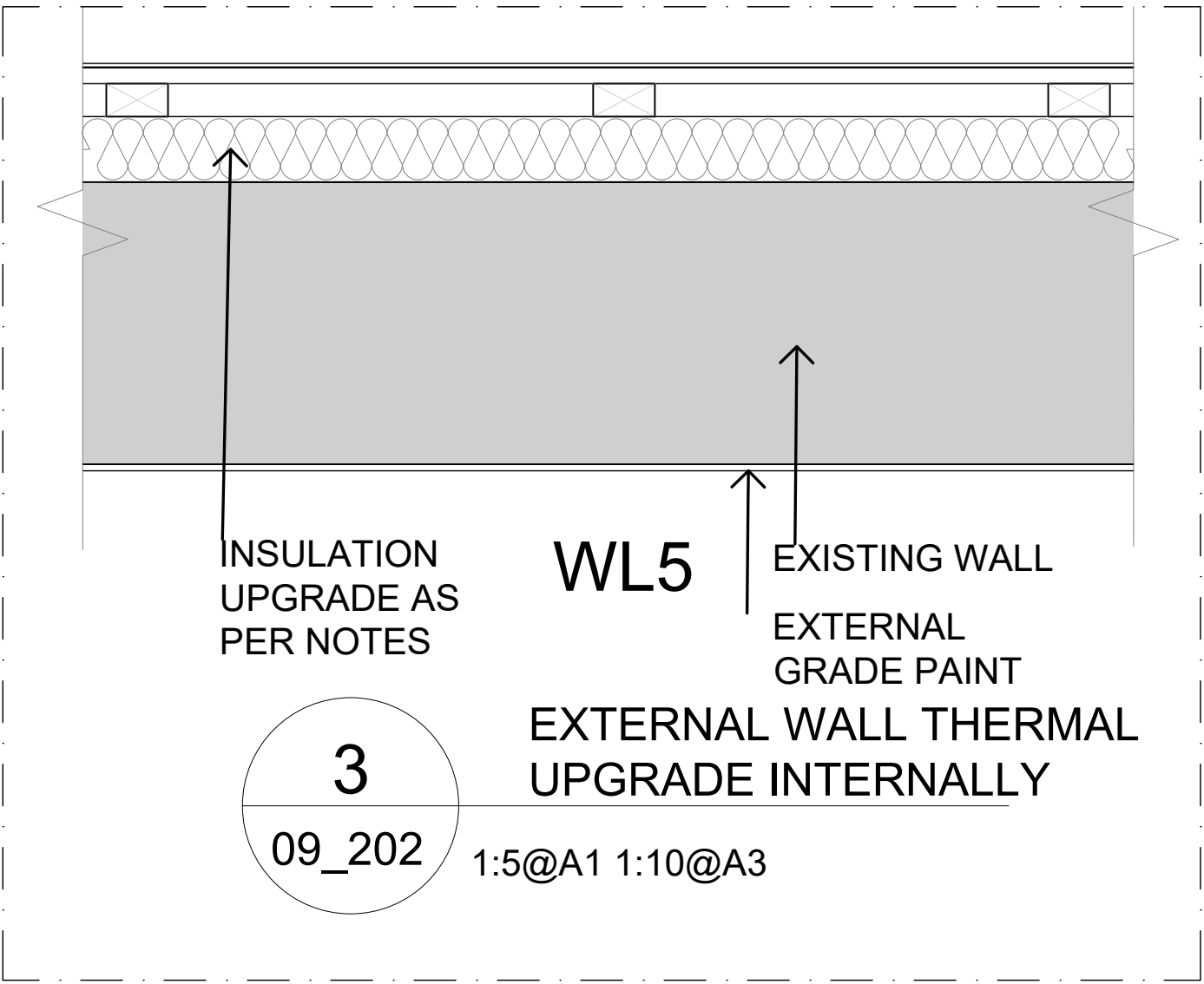
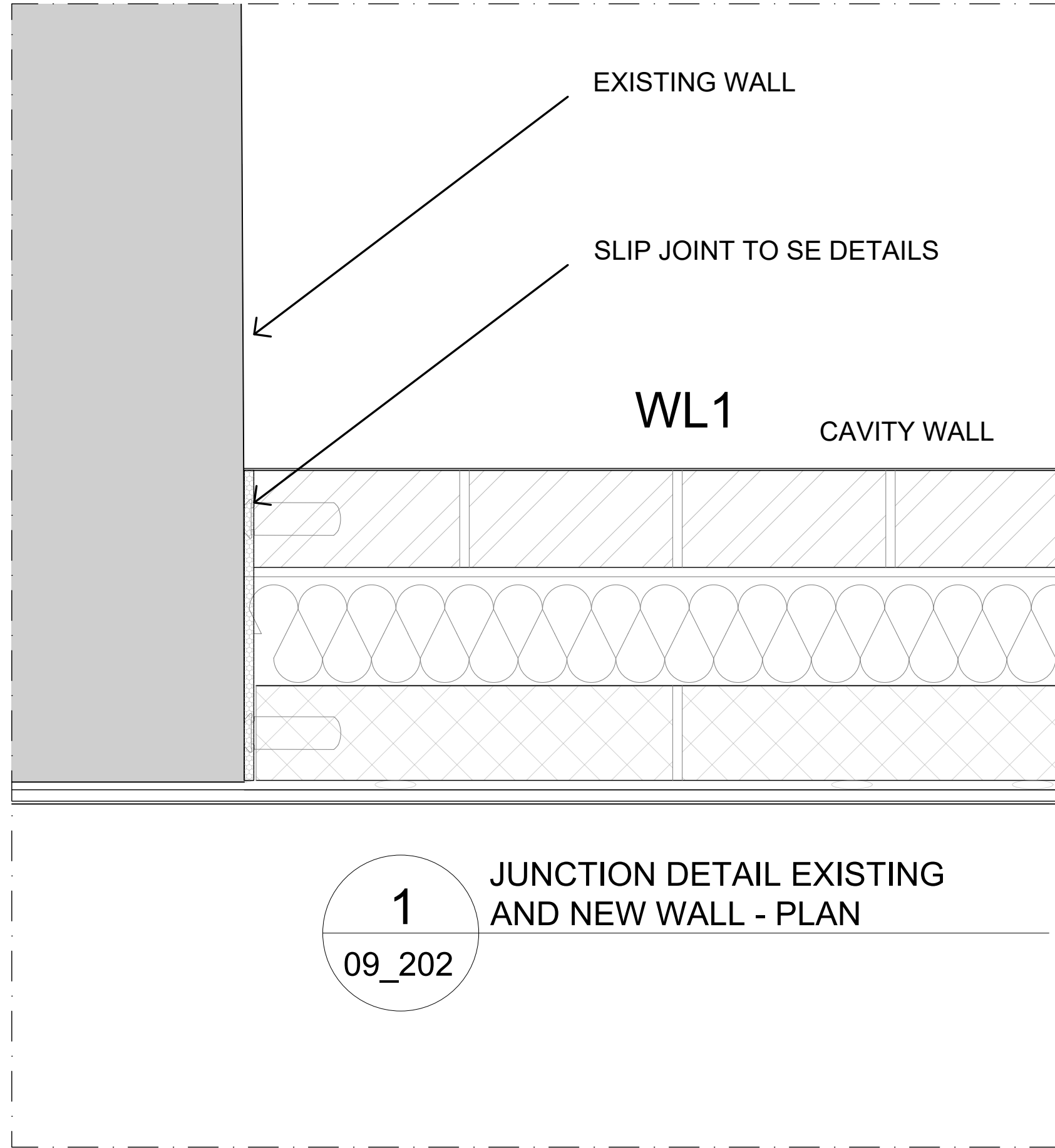
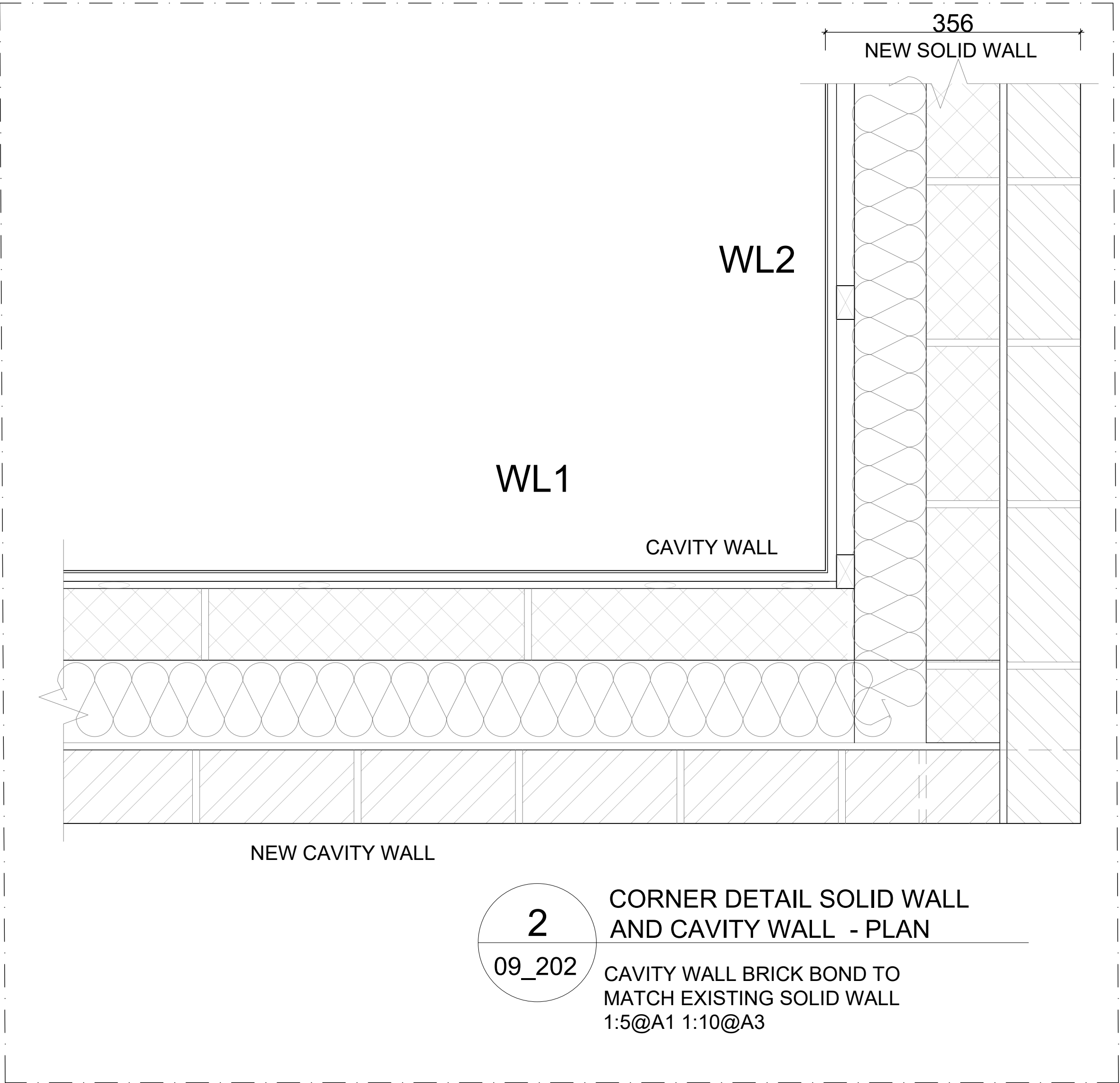
PROPOSED WINDOW
DETAILS

Scale 1:2.5 / 1:5 @ A1
Date 09.08.2023
Drawn AJK
Drg No 269_09_201
c

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WALL CONSTRUCTION:

WL1 - CAVITY WALL

U VALUE = 0.18 W/m²K min.
OUTER LEAF 102.5mm PAINTED FACING BRICK
125MM CAVITY WITH 115mm CELOTEX THERMA CLASS CAVITY WALL 21 + 10mm CLEAR
RESIDUAL CAVITY
INNER LEAF 100MM CONCRETE BLOCK TO SE IN 1:1:6 MORTAR
(CEMENT:HYDRATED LIME:SAND MORTAR)
INTERNAL FINISH - 12.5MM WALL BOARD ON DOT AND DABS
SKIMMED AND PAINTED
BRICK BONDING EXTERNALLY TO MATCH EXISTING

WL2 - NEW SOLID WALL

U VALUE = 0.18 W/m²K min.
102.5MM PAINTED FACING BRICK +100MM CONCRETE BLOCK TO SE IN 1:1:6 MORTAR BONDED TO
EXTERNAL WALL EVERY 3 COURSES WITH NO GAP
WITH 100mm CELOTEX GA4000 INTERNAL INSULATION BOARD
25 mm AIR GAP
12.5MM WALL BOARD ON 25X38mm TREATED TIMBER FRAME ON INSULATION BOARD
INTERNAL FINISH - 12.5mm WALL BOARD FIXED TO BATTENS
SKIMMED AND PAINTED
BRICK BONDING EXTERNALLY TO MATCH EXISTING

WL3- EXTERNAL/INTERNAL WALL BLOCKED UP

MASONRY WALL THICKNESS TO MATCH EXISTING IN 1:1:6 MORTAR
NEW WALL KEYED INTO THE EXISTING
INTERNAL FINISH - 12.5mm WALL BOARD DOT AND DABS
SKIMMED AND PAINTED

WL4- INTERNAL PARTITION WALL

47X75mm TREATED TIMBER STUDS @ 400 C/C
47X100MM TREATED TIMBER STUDS @400 C/C (BETWEEN FAMILY BATHROOM AND BEDROOM 1
WITH ROCKWOOL R45 FULL FILL INSULATION IN BETWEEN.
REFER 09_203 FOR DETAILS
WL4 - 1
WL4 - 2
WL4 - 3
WL4 - 4
USE MOISTURE RESISTANT PB IN WET AREAS UTILITY ROOM AND KITCHEN WHERE SKIMMED.

SEE 09_203 FOR PARTITION WALL CONSTRUCTION DETAILS

NOTE: ALL TIMBERS TO BE C24

WL5- EXTERNAL WALL THERMAL UPGRADE

EXISTING SOLID BRICK WALL: ALLOW TO APPLY INSULATION UPGRADE BY INSTALLING 50MM
CELOTEX GA4000 ON EXISTING WALL JOINTS TAPED TO FORM VAPOUR CONTROL LAYER,
COUNTER BATTENS 25X47MM AT 600 C/C, 12.5MM PLASTERBOARD ON BATTENS AND 3MM MULTI
FINISH PLASTER SKIM OVER. SEALED IN PREPARATION FOR DECORATION. ALL TO ACHIEVE MIN
0.30W/m²K

WL6- BAT WALL

47X75mm TREATED TIMBER STUDS @ 400 C/C
12.5mm PLASTER BOARD BOTH SIDES
BAT ACCESS HATCH 600WX825Hmm 25mm THICK TIMBER DOOR WITH LATCH

21.05.2024 - C. ADDED RAIN WATER DRAINAGE
20.05.2024 - B. WINDOWS AMENDED
02.02.2024 ISSUED -BAT WALL NOTES ADDED
19.01.2024 ISSUED
09.01.2024 FOR CLIENTS COMMENTS
22.12.2023 FOR CLIENTS COMMENTS
07.12.2023 FOR CLIENTS COMMENTS
24.11.2023 FOR CLIENTS COMMENTS
09.11.2023 FOR CLIENTS MEETING
01.11.2023 DRAFT FOR COMMENTS
09.10.2023 DRAFT FOR COMMENTS

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OLD DENE COTTAGE, MILLEY ROAD
WALTHAM ST LAWRENCE, READING
RG10

MR & MRS HARVEY

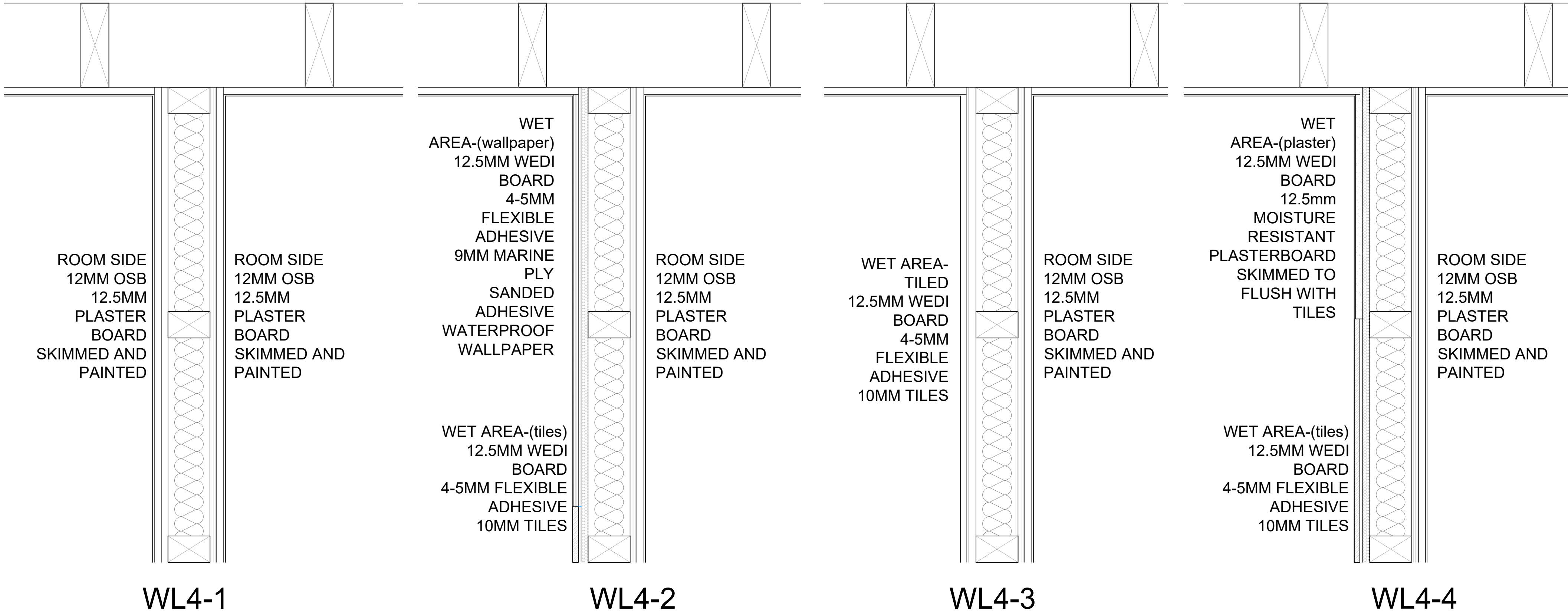
PROPOSED DETAILS

Scale 1:2.5 / 1:5 @ A1
Date 09.08.2023
Drawn AJK
Drg No 269_09_202
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-Temporary works design
-Structural engineers drawings/details/spec
-Approved planning drawings
-Ecology report concerning bat
-Building survey report
-Any other relevant information to complete the works



- 1

09_203

TIMBER PARTITION WALL

GENERAL NON WET AREAS INCLUDING KITCHEN
1:5@A1 1:10@A3
- 2

09_203

TIMBER PARTITION WALL

WET AREA- WALL PAPER+TILES
1:5@A1 1:10@A3
- 3

09_203

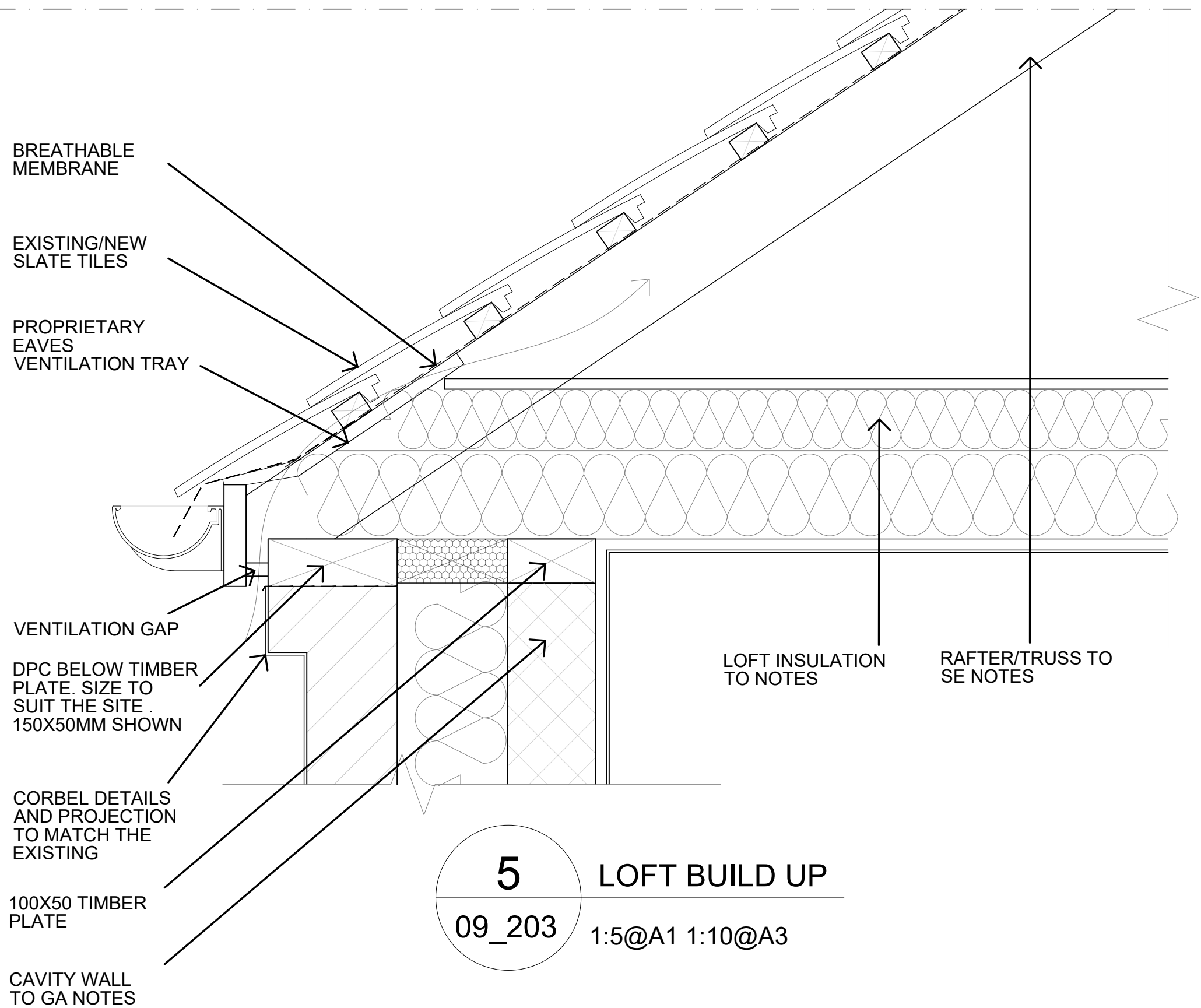
TIMBER PARTITION WALL

WET AREA- TILED
1:5@A1 1:10@A3
- 4

09_203

TIMBER PARTITION WALL

WET AREA- PLASTER/WALL PAPER+TILES
1:5@A1 1:10@A3



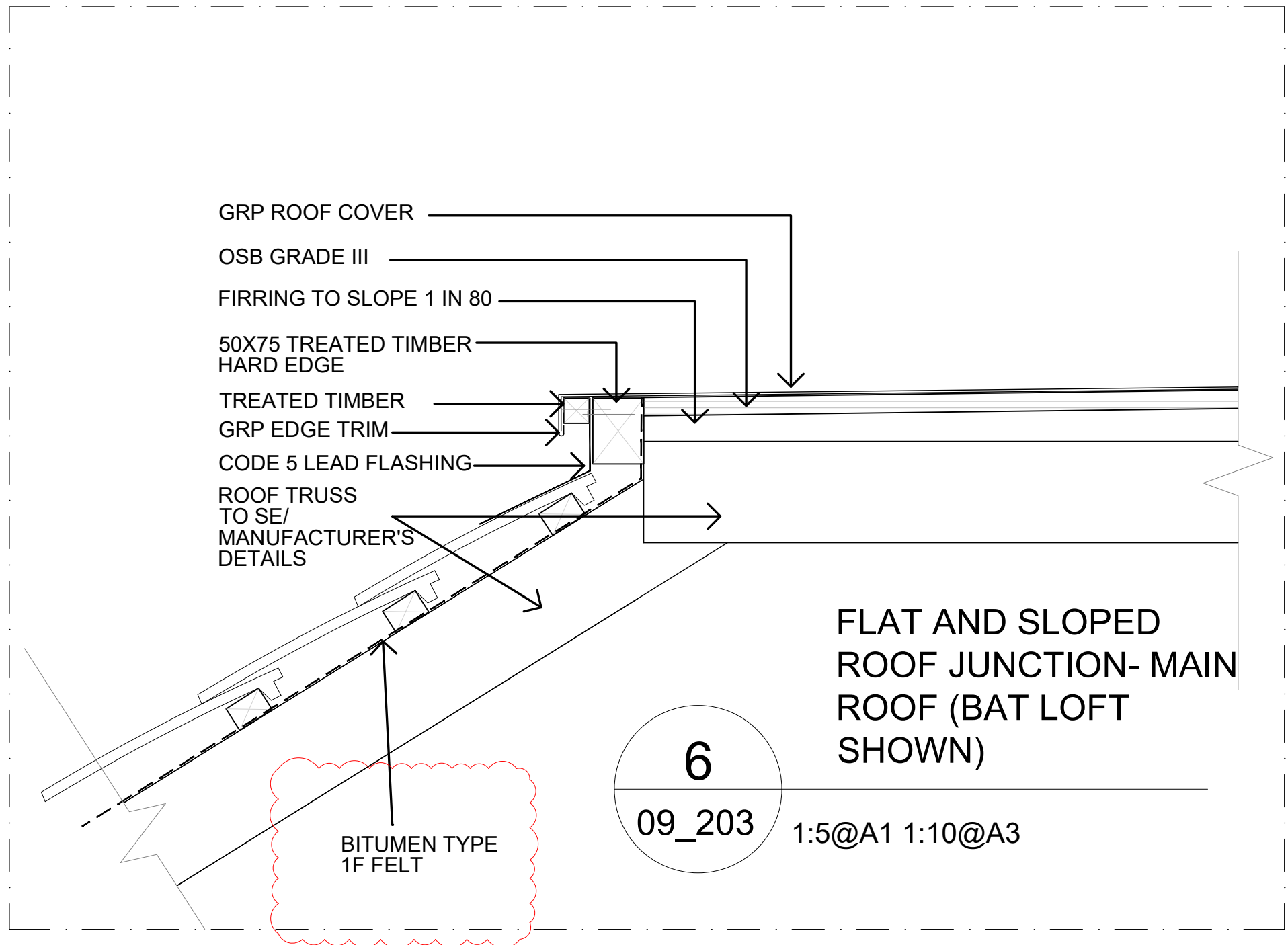
NEW PITCHED ROOF/TRUSS: FOLLOW BAT REPORT FOR ROOFING AND STRUCTURE: SLATE TILES TO MATCH EXISTING/RE USE RETAINED EXISTING ON 25X38MM TILE BATTENS ON BREATHABLE MEMBRANE ON EXISTING/NEW TIMBER JOISTS JOIST TO BE MIN 50X150MM C24 TO SE.

LOFT INSULATION:
12MM BOARD OVER
70MM CELOTEX GA4000 ABOVE CEILING JOISTS
100MM GA4000 BETWEEN JOISTS
12.5MM PLASTERBOARD.
JOINTS TAPED AS VAPOUR CONTROL LAYER SKIMMED AND PAINTED.

ALLOW FOR PROPRIETARY VENTILATION TRAY AT EAVES.

ALL TO ACHIEVE U VALUE 0.15 W/M2K

NEW ROOF TRUSSES TO SE NOTES/MANUFACTURERS DETAILS
EXISTING CEILING JOISTS AND RAFTERS TO SITE TO BE CONFIRMED WITH SE.



02.02.2024 ISSUED -BAT NOTES ADDED

21.05.2024 C. ADDED RAIN WATER DRAINAGE
20.05.2024 B. WINDOWS AMENDED
02.02.2024 ISSUED -BAT WALL NOTES ADDED
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WALTHAM ST LAWRENCE, READING
RG10

MR & MRS HARVEY

PROPOSED DETAILS

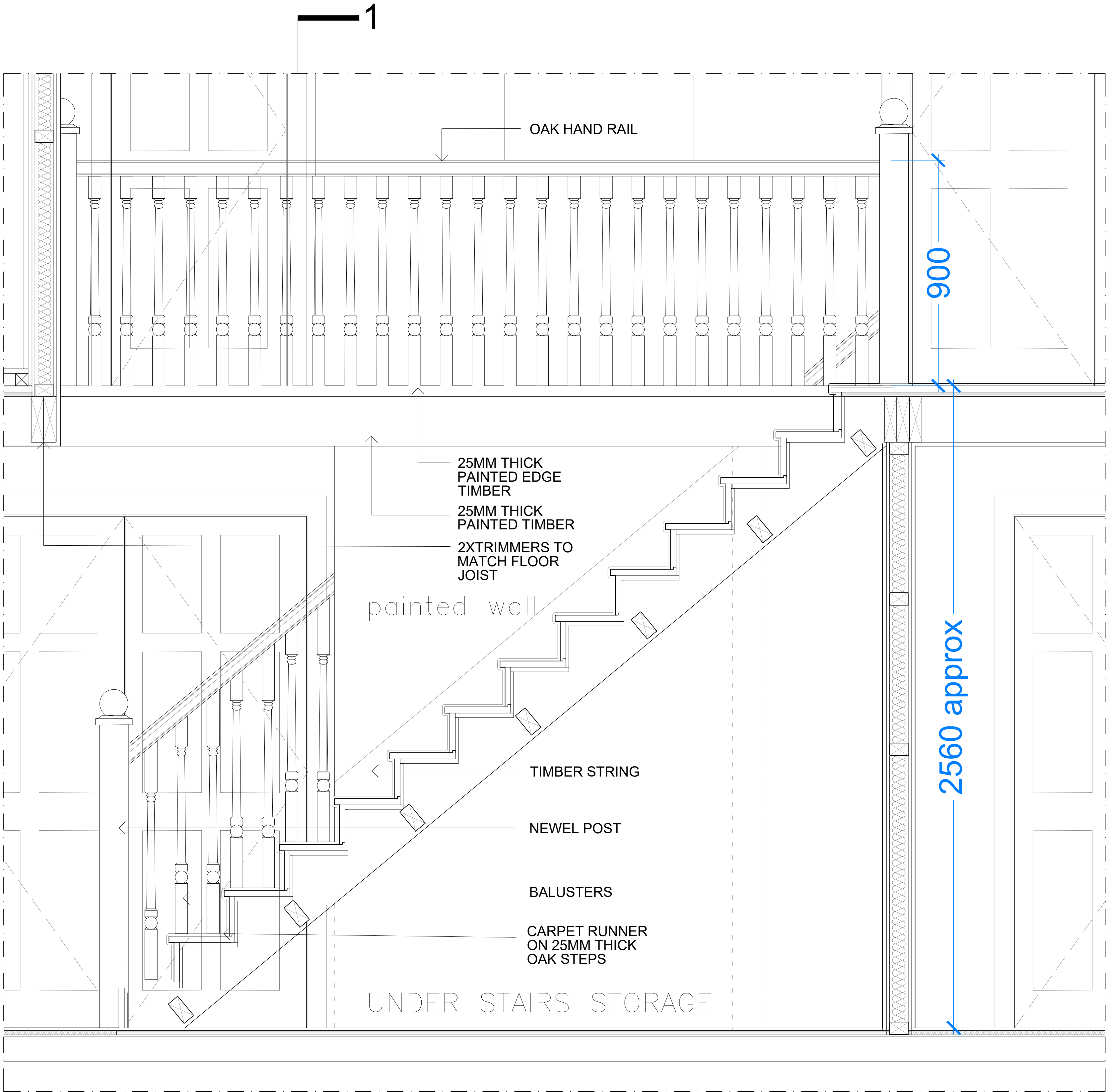
Scale 1:2.5 / 1:5 @ A1
Date 09.08.2023
Drawn AJK

Drw No 269_09_203

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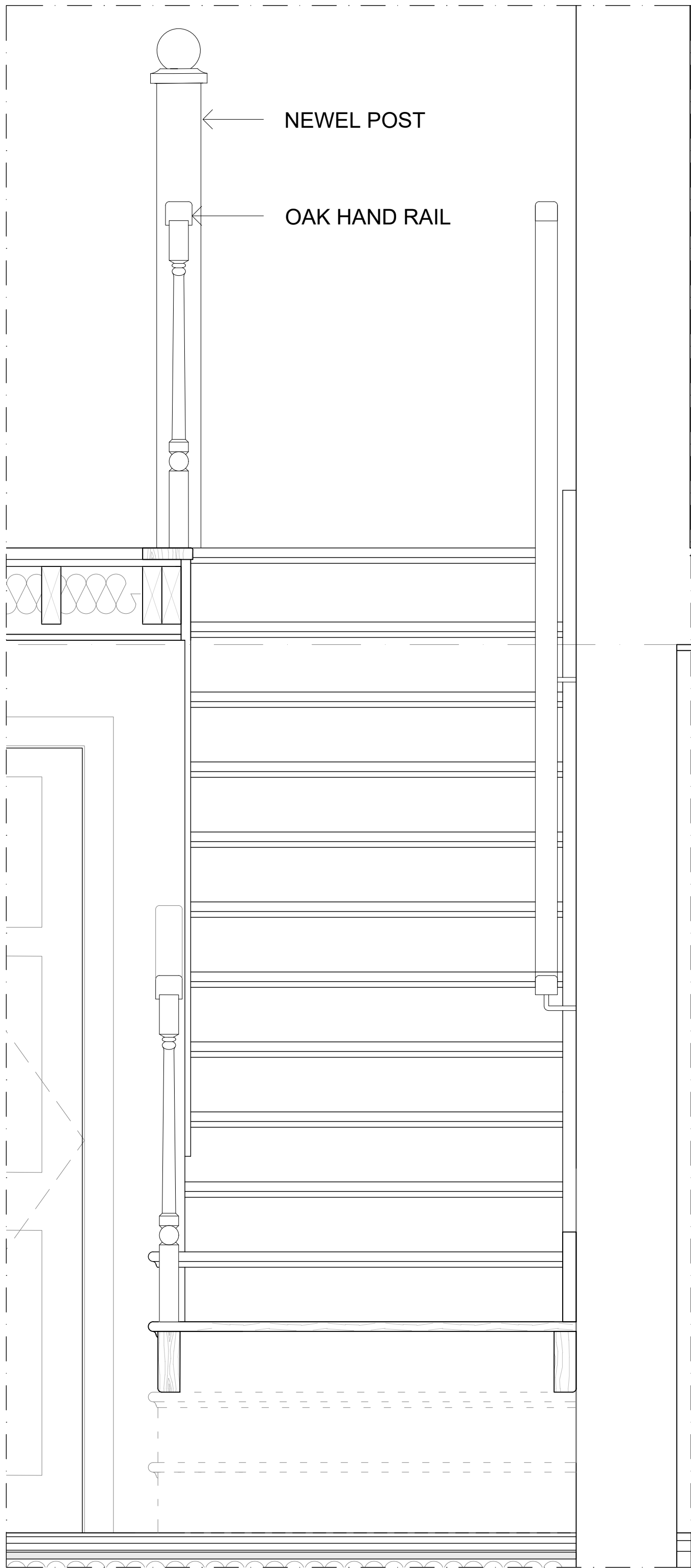
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1
09 TIMBER STAIR
SCALE 1:10 AT A1

PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO PRODUCTION



2
09 SECTION AT 1-1
SCALE 1:10 AT A1

PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO PRODUCTION

GROUND TO FIRST FLOOR:

RISE	= 183.57MM
GOING	= 220MM
NO OF RISE	= 14
NOSING	= 25MM
FLOOR TO FLOOR=	2560 approx.
PITCH	= 40°
WIDTH	= 1020MM BETWEEN WALL
WIDTH AT BASE	= 1120MM
STEPS	= 25MM OAK
HANDRAIL	= 59X59MM OAK
WALL HANDRAIL	= 40X59MM OAK
BALUSTERS	= 40X40 TIMBER
NEWEL POST	= 115X115MM TIMBER
STRING STYLE	= CUT STRING
BALUSTRADE	= 900MM HIGH
NEWPOST CAP	= TO MATCH NEWEL POST
SPINDAL GAP	= MAX 99MM AT

22.04.2024 ISSUED
19.01.2024 ISSUED



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TIMBER STAIR

Scale 1:10 @ A1
Date 09.08.2023
Drawn AJK
Drg No 269_09_204