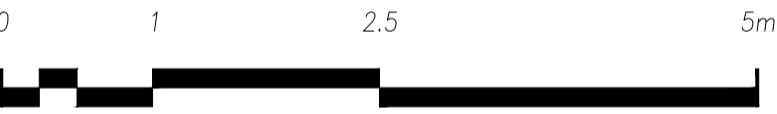
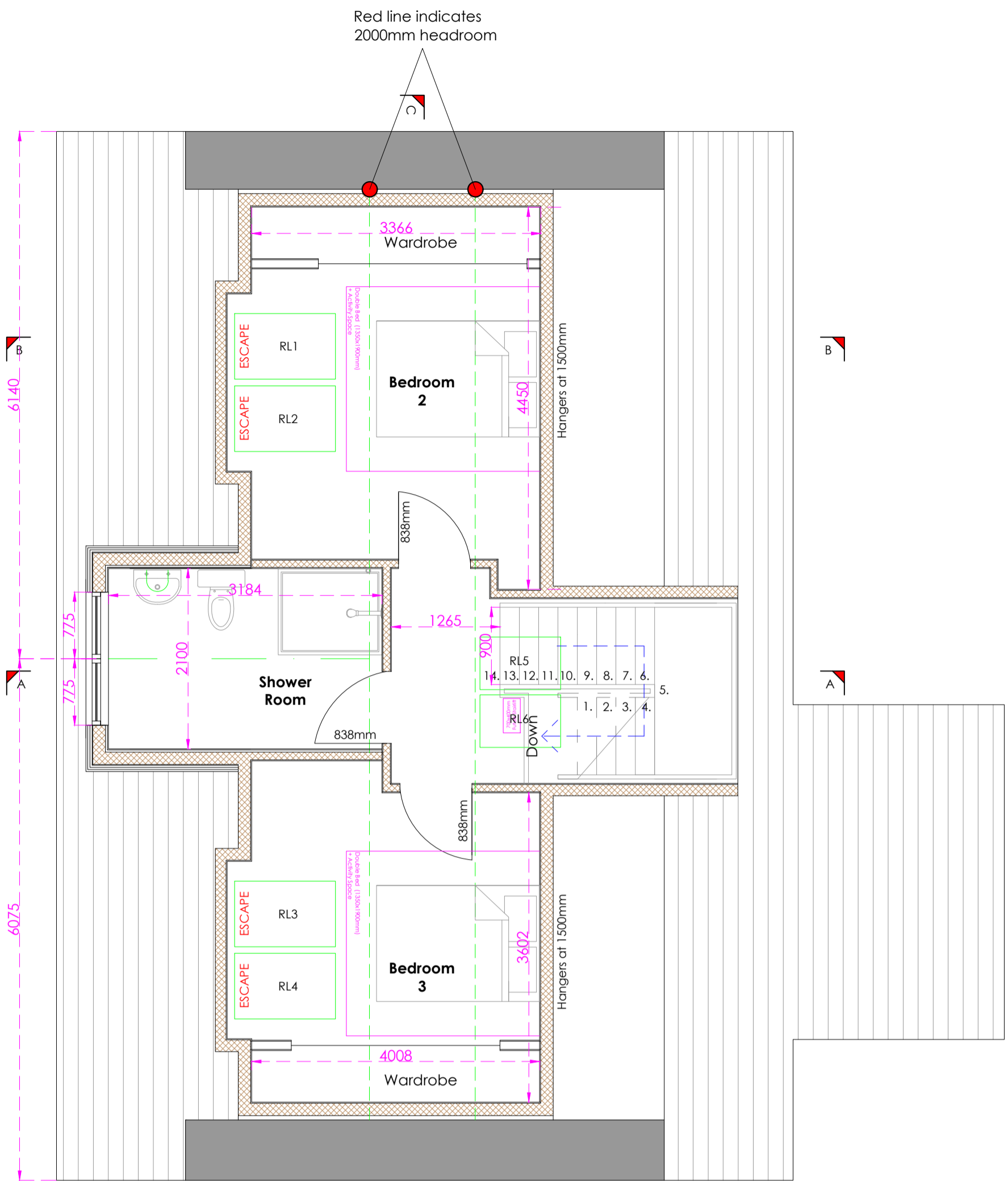


Proposed Ground Floor Plan
Scale 1:50



SCALE 1:50



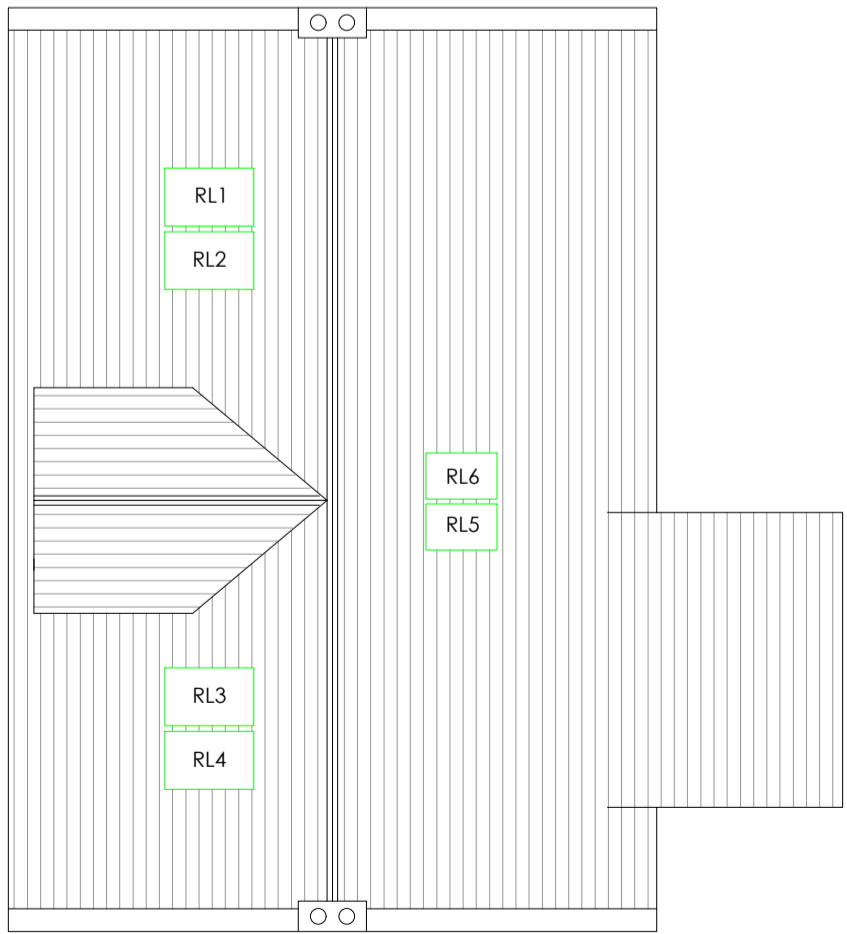
Proposed First Floor Plan
Scale 1:50



SCALE 1:50

Escape Windows:
Include for a minimum of 1 no. escape window in first floor apartments. Escape windows should have an unobstructed openable area that is at least 0.33m² and with no dimension less than 450mm. If the width is 450mm then the height would need to be 0.33/0.45 = 734mm. The bottom of the openable area should not be more than 1100mm above the floor. Windows to be fully reversible tilt and turn style for ease of cleaning.

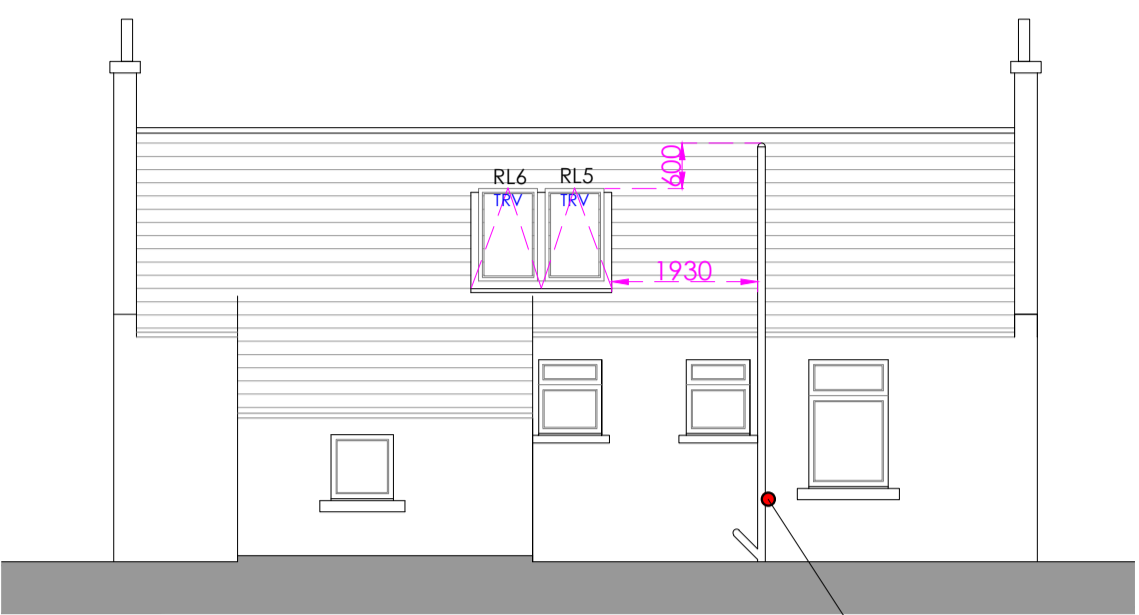
Rooflight Schedule:
RL1 (Bedroom 3) - 780x1600mm Top Hung MK10 (ESCAPE HEIGHT)
RL2 (Bedroom 3) - 780x1600mm Top Hung MK10 (ESCAPE HEIGHT)
RL3 (Bedroom 4) - 780x1600mm Top Hung MK10 (ESCAPE HEIGHT)
RL4 (Bedroom 4) - 780x1600mm Top Hung MK10 (ESCAPE HEIGHT)
RL5 (Over Stairs) - 780x1600mm Top Hung MK10
RL6 (Over Stairs) - 780x1600mm Top Hung MK10
All rooflight sizes to be confirmed between client and contractor



Proposed Roof Plan
Scale 1:100



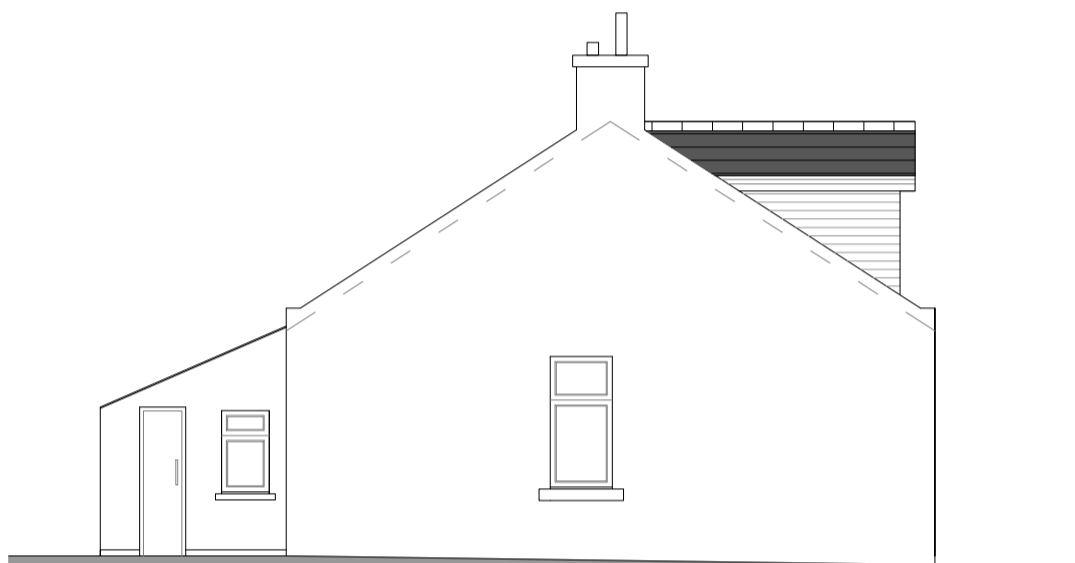
SCALE 1:100



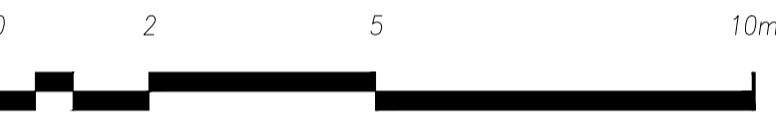
Proposed North Elevation
Scale 1:100



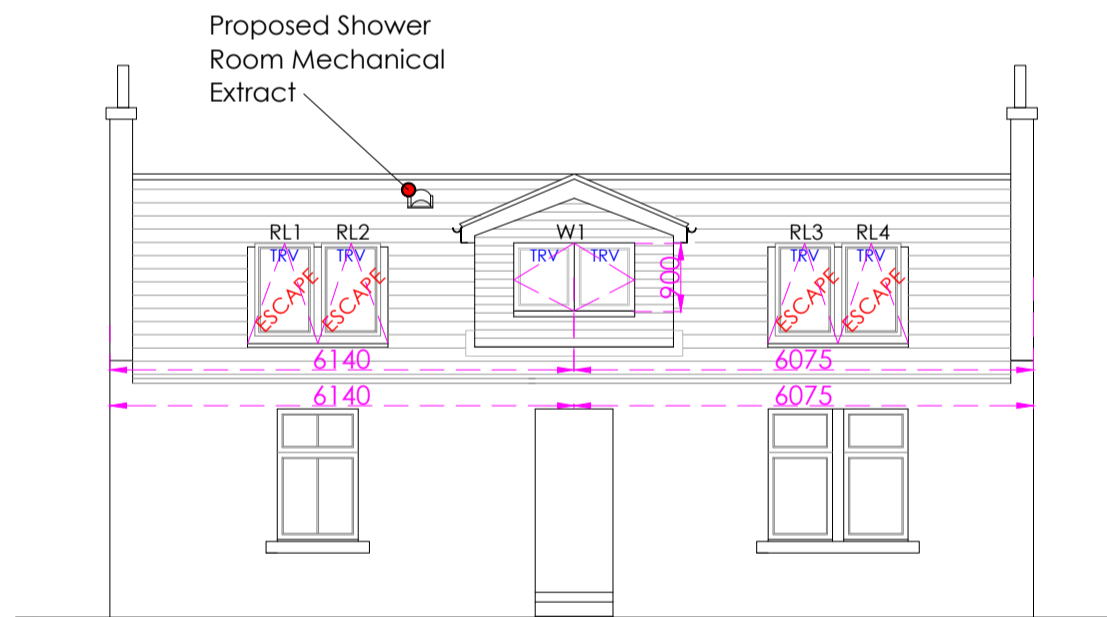
SCALE 1:100



Proposed West Elevation
Scale 1:100



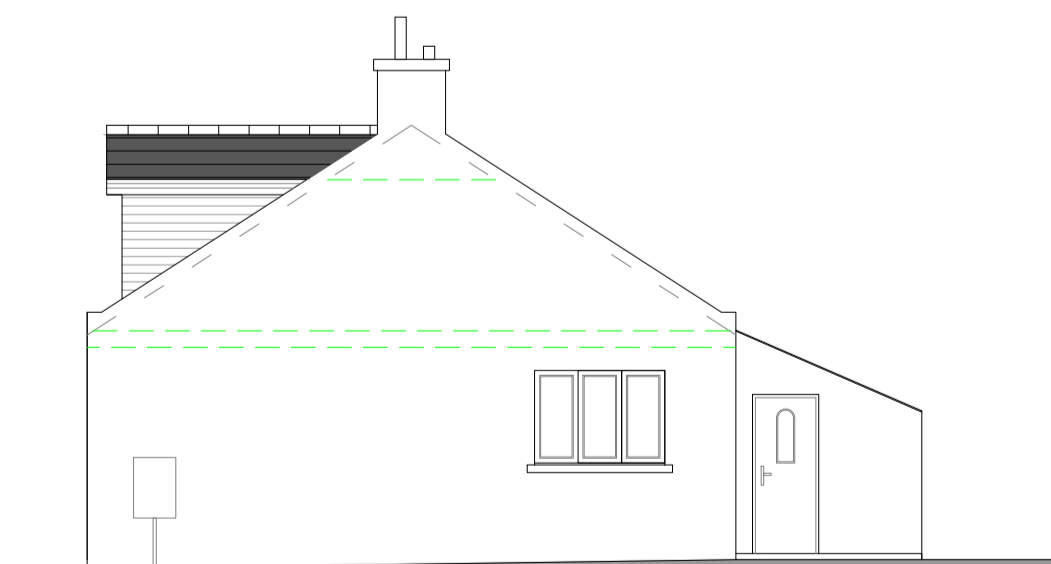
SCALE 1:100



Proposed South Elevation
Scale 1:100



SCALE 1:100



Proposed East Elevation
Scale 1:100



SCALE 1:100

- Successful contractor to ensure they are in possession of the approved building warrant drawing package prior to commencing work on site. This includes all architectural drawings, Structural Engineer's drawing package and specification.
1. Contractor to check all sizes on site prior to construction
 2. Do not scale this drawing for construction purposes.
 3. Drawings to be read in accordance with Structural Engineer's details and specification. *All Engineers details to take precedence*
 4. All dimensions are in millimeters unless otherwise stated
 5. All materials used to be the latest British Standard Specification (B.S.S.) where applicable or equivalent European standard
 6. All workmanship to be carried out in accordance with the latest Codes Of Practice where applicable
 7. External Plan & Foundation Plan Dimensions **do not** include roughcast render
 8. Internal Dimensions on floor plans **do not** include plasterboard
 9. All Dimensions of proposed doors and windows to be checked on site prior to ordering from manufacturer
 10. Contractor is advised to check ground conditions on site prior to tendering as stated foundation depth may vary.
 11. All dimensions of sanitary fittings to be confirmed to contractor by client prior to work commencing on site. Please note all sanitary fittings shown on floor plans are provisional.
 12. All existing and proposed roof pitches to be checked by contractor on site prior to ordering roof trusses from supplier.
 13. All new window and door openings to be formed on site and measured prior to ordering windows/doors from supplier
 14. Contractor to ensure all approved U-Values are adhered to when ordering and installing windows, insulation etc as per the chart adjacent.

GENERAL LEGEND			
		Areas shaded represents Existing Structure	
		New External Walls	
REVISION	DATE	DESCRIPTION OF REVISION	
CLIENT			
Mr Ross Maclean			
PROJECT			
Proposed Attic Conversion at Rose Cottage, Careston, Brechin, DD9 6SA			
DRAWING TITLE			
Proposed Plans and Elevations			
SCALE	DATE	DRAWING No.	DRAWN BY
As Per DWG	01.10.23	RGG 039 - A100 -	RGG
This drawing is issued for the purpose of the status indicated below			
<input type="checkbox"/> Sketch Proposal			
<input type="checkbox"/> Planning Application Submission			
<input type="checkbox"/> Planning Application			
<input checked="" type="checkbox"/> Building Warrant Application Submission			
<input type="checkbox"/> Building Warrant Application			
<input type="checkbox"/> Construction Drawings to be Adhered to on Site			