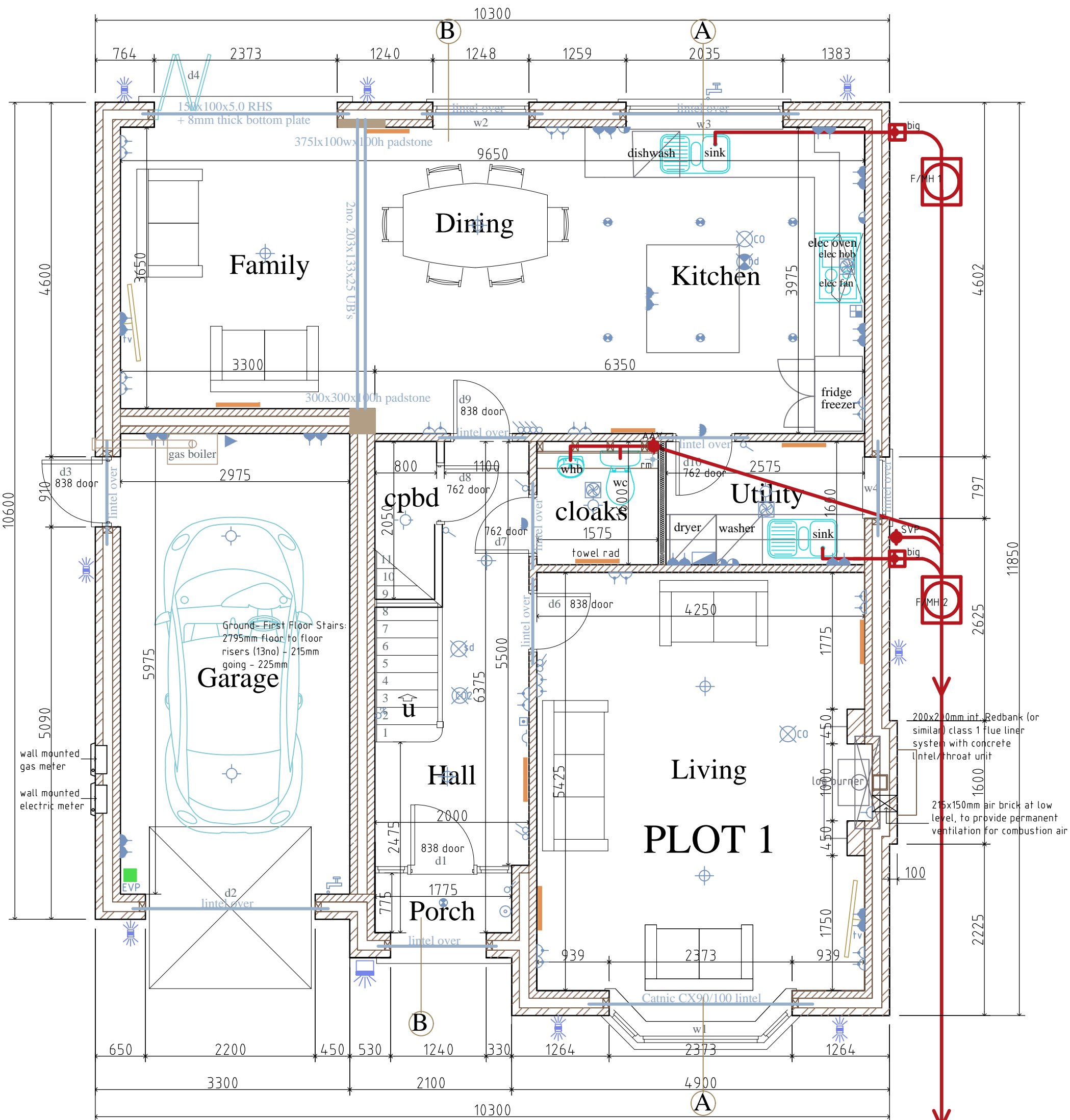
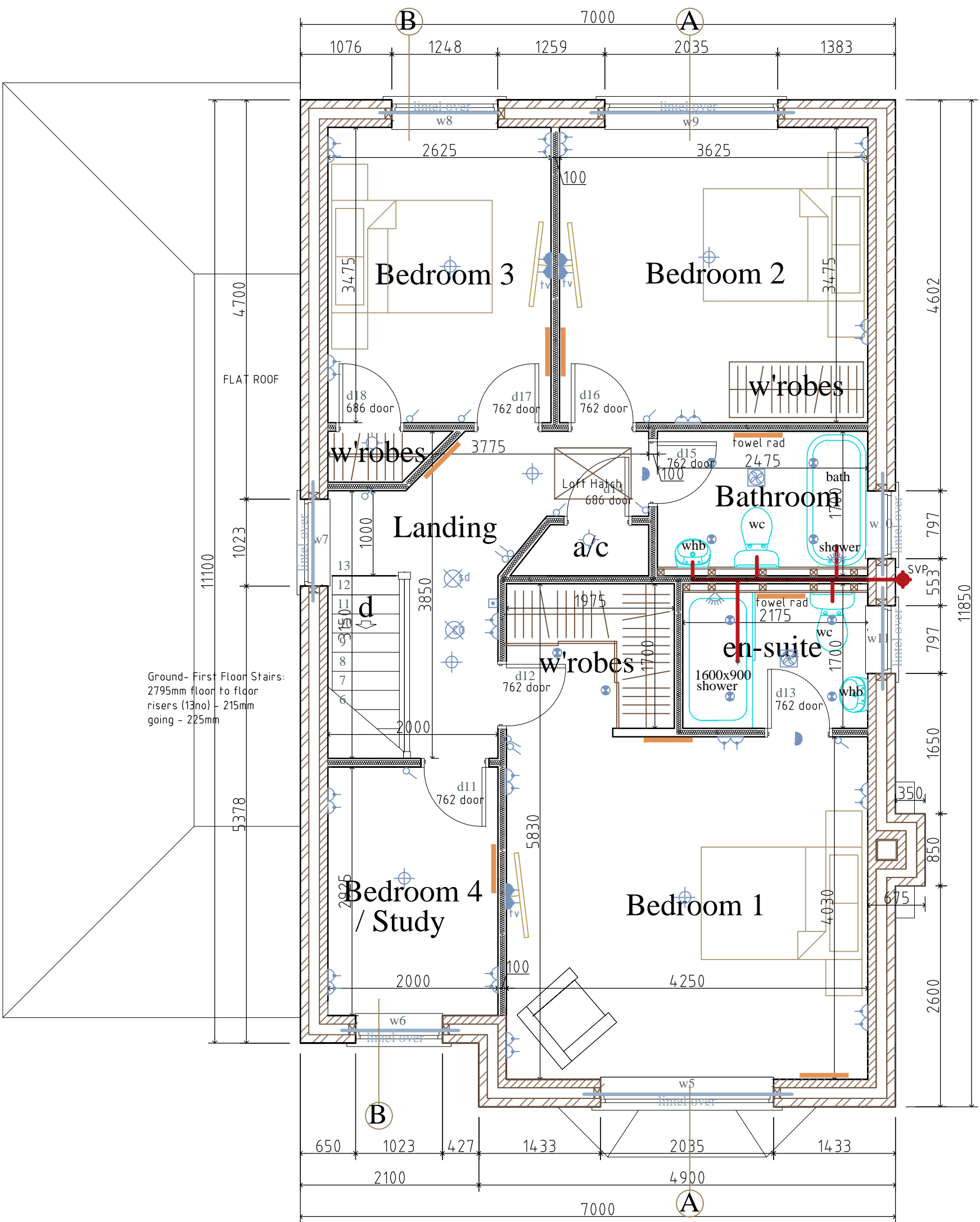


PLOT 1



Ground Floor Plan 1:50
103m2



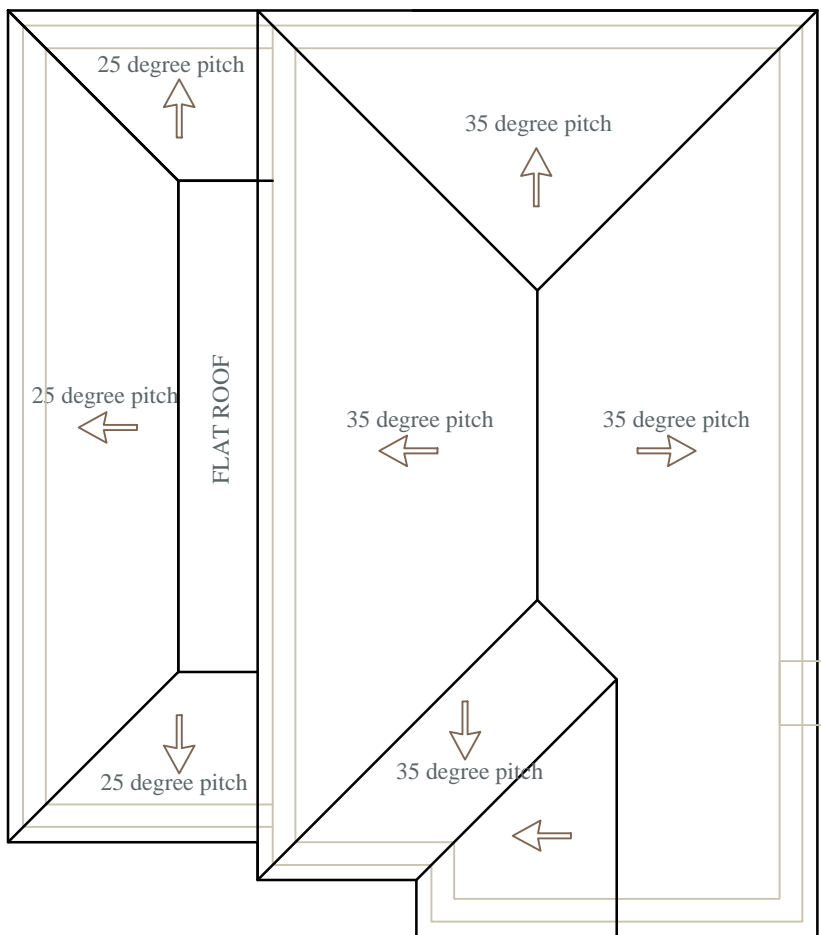
First Floor Plan 1:50
69m2

ELECTRICAL LEGEND	
All light fittings to be energy efficient light fitting	
	pendant light fitting assembly
	battenholder light fitting assembly
	recessed downlighter/eyeball light strip lighting
	external wall mounted light fitting, having an efficacy greater than 40 lumens per circuit watt, with pir sensor & timer off facility (to satisfy AD L1A:2006)
	external wall mounted light fitting switched
	single light switch
	two way light switch
	pull cord switch
	double switched socket outlet at low level
	single switched socket outlet at low level
	double switched socket outlet above worktop
	single switched socket outlet above worktop
	switch above worktop with low level socket outlet nearby (appliance noted)
	fused spur
	cooker control with low level hob ignition point
	boiler programmer
	fan isolation switch
	internal telephone point
	television aerial socket
	room thermostat
	consumer unit
	shower
	door bell
	door chime
	Electric Vehicle Charging Point
	mains operated smoke detector with battery backup
	heat detector
	carbon monoxide detector
	intermittent extract fan (ceiling mounted)
	indicative radiator position
	focal fire & surround
	intruder alarm system
	external water tap
	gas supply

WALL TYPE LEGEND	
	325mm cavity wall: 102mm thick external facing brickwork, nominal 125mm wide cavity partially filled with T5 Kooltherm K8 insulation, 100mm thick lightweight thermal block (Toplite GT1) with 12.5mm plasterboard on dabs to internal face.
	100mm thick loadbearing blockwork built off foundations. Finished with 12.5mm plasterboard on dabs to faces.
	100mm thick non loadbearing blockwork built off ground floor structure. Finished with 12.5mm plasterboard on dabs to faces.
STUD PARTITIONS	
	80mm wide comprising of 50mm metal stud with 12.5mm soundblock board, 3mm skim and 50mm thick acoustic quilt
internal door schedule	
838 door	915mm structural opening
762 door	846mm structural opening
686 door	770mm structural opening
610 door	690mm structural opening
FD30S sc	30 min fire door

BUILDING REGULATIONS AMENDMENTS - 29/11/2022

1. calculations/details for roof trusses, 1st floor joists and block/beam floors to be obtained from manufacturers and passed on to B.I.
2. calculations/details for structural steelwork from structural engineer - sizes of steel beams and padstones added to drawings
3. unprotected area between the two houses (distance between houses is 1.35m) The left hand side wall of plot 2 forms the boundary. unprotected area calculation is shown on elevation drawing unprotected area is 7.82%
4. background ventilators to provide a min. of 8000mm2 (min x3 no. to kitchen/dining room)
5. soakaway design, details & calcs to follow from structural engineer following results of percolation tests
6. carbon monoxide detectors are to be sited in rooms that contain heat producing appliances - see plans
7. chimney details added
8. ground floor specification amended to match SAP calcs
9. external wall specification amended to match SAP calcs
10. lighting specification amended to match SAP calcs
11. Further information to confirm that the buildings have been assessed to prevent overheating to follow.
12. EV charging point details added
13. photographic evidence to be taken during the construction process to verify compliance with SAP calcs.
14. M&E systems to be tested and certified upon completion



Roof Plan 1:100

prefabricated trusses designed, manufactured & installed in accordance with BS5268: Part 3: 1985.
All roof bracing details to BS5268 or N.H.B.C. requirements

c. 21/03/2023 - amended brick dabs to openings
d. 29/11/2022 - building regulations amendments
c. 08/1/2022 - space & water heating amendments
b. 24/10/2022 - structural steel info added

TITLE:
Plot 1
Building Regulations Drawing No.1
28 Pargeter Street
Stourbridge
DY8 1AU

DRAWING NO. **28PS/15** REV: **c**

DATE: **October 2022**

SCALE: **1:50**

NCR ARCHITECTURAL DESIGN & TOWN PLANNING

1st & 2nd Floors
34 Lower High Street
Stourbridge
West Midlands
DY8 1TA

Mob : 07956 805316 neilranford@btinternet.com